

MEETING NOTICE

NOTICE IS HEREBY GIVEN that the Regular Meeting of the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois will be held on Tuesday, February 15, 2022, beginning at 6:30 PM in the Council Chambers at the Village Hall of Tinley Park, 16250 South Oak Park Avenue, Tinley Park, Illinois.

- 6:30 PM CALL TO ORDER

- PLEDGE OF ALLEGIANCE

- ROLL CALL

ITEM #1

SUBJECT: CONSIDER APPROVAL OF AGENDA

ACTION: Discussion - **Consider approval of agenda as written or amended.**

COMMENTS: _____

ITEM #2

SUBJECT: CONSIDER APPROVAL OF MINUTES OF THE REGULAR VILLAGE BOARD MEETING HELD ON FEBRUARY 1, 2022.

ACTION: Discussion: **Consider approval of minutes as written or amended.**

COMMENTS: _____

ITEM #3

SUBJECT: RECEIVE PRESENTATIONS OF THE TINLEY PARK BUSINESS SPOTLIGHT - DUNN-RITE BUILDING MAINTENANCE AND D.W. RAM CORPORATION - **President Glotz & Clerk O'Connor**

ACTION: Discussion:

- 1. Dunn-Rite Building Maintenance is a commercial cleaning and maintenance service that has been operating in Tinley Park since 2008. Dunn-Rite's services include construction cleanup, renovation, remodeling and cleaning from staff who are OSHA-certified in mitigating blood-borne pathogens and hazardous materials. Please join me in welcoming John Pospisil, owner of Dunn-Rite Building Maintenance.

2. For over 40 years, D.W. Ram Corporation has provided an array of machining services, to include parts manufacturing, prototyping, welding, fabrication, custom-built machinery, and reverse-engineering. The company occupies a 28,000-square-foot facility at 18530 South Spring Creek Drive and employs more than a dozen craftsmen and specialists. We are pleased to welcome Doug Murdaugh, founder of D.W. Ram Corporation.

COMMENTS: _____

ITEM #4

SUBJECT: CONSIDER APPOINTMENT OF ARLAN SCHATTKKE TO THE POSITION OF VILLAGE ENGINEER EFFECTIVE MARCH 3, 2022 - **President Glotz**

ACTION: Discussion: Arlan Schattke has been identified as the most qualified candidate to serve in the position of Village Engineer. He has over 10 years of related experience in the engineering consulting field and in municipal government holding various traffic, transportation, civil/municipal, and staff engineering roles. He is recognized for managing and implementing roadway maintenance programs, overseeing and coordinating capital improvement projects, construction administration and management, and delivering full design engineering plans.

Arlan holds a Bachelor of Science in Civil Engineering and has been a Licensed Professional Engineer in Illinois since 2016. He is also heavily involved with the American Public Works Association (APWA) Chicago Metro Chapter Southwest Branch and served as past president in 2021. **Consider appointing Arlan Schattke to the position of Village Engineer effective March 3, 2022**

COMMENTS: _____

ITEM #5

SUBJECT: CONSIDER APPROVAL OF THE FOLLOWING CONSENT AGENDA ITEMS:

- A. CONSIDER REQUEST FROM PARK LAWN TO CONDUCT A TAG DAY FUNDRAISER ON FRIDAY AND SATURDAY APRIL 8TH AND 9TH AND FRIDAY AND SATURDAY, APRIL 15TH AND 16TH, 2022, AT CERTAIN INTERSECTIONS IN THE VILLAGE OF TINLEY PARK.
- B. CONSIDER ADOPTING RESOLUTION 2022-R-016 APPROVING RENEWAL OF SOUTH SUBURBAN MAYORS & MANAGERS ASSOCIATION (SSMMA) MEMBERSHIP.
- C. CONSIDER PAYMENT OF OUTSTANDING BILLS IN THE AMOUNT OF \$2,446,274.52 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED FEBRUARY 4 AND 11, 2022.

ACTION: Discussion: **Consider approval of consent agenda items.**

COMMENTS: _____

ITEM #6

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-016 AMENDING TITLE XI, CHAPTER 112 SECTION 22: PERMITTED NUMBER OF LIQUOR LICENSES - **President Glotz**

ACTION: Discussion: Due to recent closures and/or changes within existing establishments, the following changes to the permitted numbers of liquor licenses are proposed:

- 350 Brewing Company (closure): Reduction of one Class O license;
- Salina’s Pizza and Catering (closure): Reduction of one Class P license;
- Chipotle # 1082 (menu change): Reduction of one Class A license; and
- Pepe’s Mexican Restaurant (change): Reduction of one Class AV license addition of one Class A license.

This Ordinance is eligible for adoption.

COMMENTS: _____

ITEM #7

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-012 REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6712 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TAX INCREMENT FINANCING (TIF) DISTRICT - **Trustee Mueller**

ACTION: Discussion: By virtue of the Tax Increment Allocation Redevelopment Act (65 ILCS 5/11-74.4-4) and the Eminent Domain Act,(735 ILCS 30/1-1-1, et seq.), the Village is authorized to exercise the right of eminent domain to acquire property within a redevelopment project area for public use. The Eminent Domain Act allows the Illinois General Assembly to grant quick take authority to the Village that allows for the acquisition of real property. This Resolution requests Quick Take authority powers within one year from the effective date of such power granted by the Illinois General Assembly to the Village of Tinley Park to acquire 6712 North Street for the Redevelopment Project Area necessary for construction of the downtown redevelopment project within the New Bremen Redevelopment TIF District. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #8

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-013 REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6724 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TAX INCREMENT FINANCING (TIF) DISTRICT - **Trustee Mueller**

ACTION: Discussion: This Resolution requests Quick Take authority powers within one year from the effective date of such power granted by the Illinois General Assembly to the Village of Tinley Park to acquire 6724 North Street for the Redevelopment Project Area necessary for construction of the downtown redevelopment project within the New Bremen Redevelopment TIF District. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #9

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-014 REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6706 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TAX INCREMENT FINANCING (TIF) DISTRICT - **Trustee Mueller**

ACTION: Discussion: This Resolution requests Quick Take authority powers within one year from the effective date of such power granted by the Illinois General Assembly to the Village of Tinley Park to acquire 6706 North Street for the Redevelopment Project Area necessary for construction of the downtown redevelopment project within the New Bremen Redevelopment TIF District. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #10

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-020 APPROVING AN AMENDMENT TO THE VILLAGE OF TINLEY PARK TAX INCREMENT FINANCING REDEVELOPMENT AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND J-M-W PROPERTIES, LLC (7061-7063 159TH STREET/RESOLUTION NO. 2021-R-034) - **Trustee Mueller**

ACTION: Discussion: The developer is requesting an amendment to their redevelopment agreement to extend the completion date of the project from December 31, 2021, until May 31, 2022.

The amendment to this agreement was discussed at the February 1, 2022, Committee of the Whole meeting. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #11

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-017 APPROVING THE FIVE (5) YEAR SCHEDULE OF WATER METER AND TAP-ON FEES - **Trustee Mahoney**

ACTION: Discussion: Tap-on fees cover the cost of installing a new water service for a residential home or a commercial/industrial business connecting to the Village’s water system. The overall tap-on fee charge includes the tap-on fee in addition to the water meter cost. The Village proposes a five (5) year plan with a 2.5% annual cost increase for tap-on fees and water meter costs from 2022-2026. Annual cost increases shall occur on January 1st of each year.

Consider approving the five (5) year water meter and tap-on fee rate increase. This item was discussed at the Committee of the Whole meeting held prior to this meeting. **This Ordinance is eligible for adoption.**

COMMENTS: _____

ITEM #12

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-017 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND CHRISTOPHER B. BURKE ENGINEERING, LTD. FOR THE WESTSIDE PRESSURE IMPROVEMENTS DESIGN AND CONSTRUCTION ENGINEERING - **Trustee Mahoney**

ACTION: Discussion: Approve a professional services contract for administration and full-time construction observation services of the Westside Pressure Improvements Design and Construction.

Consider awarding a contract to Christopher B. Burke Engineering, LTD. in the amount of \$291,000. This item was discussed at the Committee of the Whole meeting held previous to this meeting. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #13

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-018 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND CHRISTOPHER B. BURKE ENGINEERING, LTD FOR THE LAGRANGE ROAD WATER MAIN INSTALL DESIGN AND CONSTRUCTION ENGINEERING - **Trustee Mahoney**

ACTION: Discussion: Approve a professional services contract for design and construction engineering services for water main installation along LaGrange Road.

Consider awarding a contract to Christopher B. Burke Engineering, LTD in the amount of \$168,358. This item was discussed at the Committee of the Whole meeting held previous to this meeting. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #14

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-019 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND AL WARREN OIL COMPANY, INC. FOR A BULK FUEL PURCHASE - **Trustee Mahoney**

ACTION: Discussion: Requesting to renew a one (1) year agreement with Al Warren Oil Company, Inc. to participate in a fixed cost bulk fuel program for both gasoline and diesel fuel. This will grant the Village Manager the authority to finalize a contract subsequent to the approval locking pricing in for the current market.

Consider awarding a contract to Al Warren Oil Company, Inc. and Village Manager authority to lock in per gallon rates at amounts approximate to those stated. This item was discussed at the Committee of the Whole meeting held previous to this meeting. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #15

SUBJECT: RECEIVE COMMENTS FROM STAFF -

COMMENTS: _____

ITEM #16

SUBJECT: RECEIVE COMMENTS FROM THE BOARD -

COMMENTS: _____

ITEM #17

SUBJECT: RECEIVE COMMENTS FROM THE PUBLIC -

COMMENTS: _____

SUBJECT: ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.

- B. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.

ADJOURNMENT

**MINUTES OF THE REGULAR BOARD MEETING OF THE TRUSTEES,
VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES,
ILLINOIS, HELD FEBRUARY 1, 2022**

The regular meeting of the Board of Trustees, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on February 1, 2022. President Glotz called this meeting to order at 6:34 p.m.

At this time President Glotz led the Board and audience in the Pledge of Allegiance.

At this time President Glotz asked everyone to observe a moment of silence now and at 10:00 a.m. on February 2, 2022, in honor of the victims and their families of the 2008 Layne Bryant shooting.

Clerk O'Connor called the roll. Present and responding to roll call were the following:

Village President:	Michael W. Glotz
Village Clerk:	Nancy O'Connor
Trustees:	William P. Brady Diane M. Galante Dennis P. Mahoney Michael G. Mueller Colleen M. Sullivan
Absent:	William A. Brennan
Also Present:	
Village Manager:	Patrick Carr
Asst. Village Manager:	Hannah Lipman
Village Attorney:	Paul O'Grady

Motion was made by Trustee Mueller, seconded by Trustee Brady to approve the agenda as written or amended for this meeting. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz asked there were any comments from the Board or Public. There were none. President Glotz declared the motion carried.

Motion was made by Trustee Mahoney, seconded by Trustee Brady to approve and place on file the minutes of the regular Village Board Meeting held on January 18, 2022. President Glotz asked if there were any comments from members of the Board or the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

At this time President Glotz and Clerk O'Connor presented the Tinley Park Business Spotlight.

- Goldy Locks. Inc

Motion was made by Trustee Sullivan, seconded by Trustee Brady to appoint **BRIAN WITKOWSKI TO THE POSITION OF MAINTENANCE TECHNICIAN**. Brian Witkowski has been selected as the most qualified candidate for the Public Work's Water Division opening. He has 5 years of maintenance and equipment operation work experience. He holds a Bachelor of Science in Computer Engineering and Technology. President Glotz asked if there were any comments from members of the Board or the public.

There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to consider approving the following Consent Agenda items:

- A. CONSIDER ADOPTING RESOLUTION 2022-R-011 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND MINUTEMAN SECURITY TECHNOLOGIES FOR THE FIXED AUTOMATED LICENSE PLATE READER (ALPR) PHASE 3 INSTALLATION IN THE AMOUNT OF \$75,157.52.
- B. CONSIDER PAYMENT OF OUTSTANDING BILLS IN THE AMOUNT OF \$786,700.43 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED JANUARY 21 AND 28, 2022.

President Glotz asked if anyone from the Board would like to remove or discuss any items from the Consent Agenda. No items were removed or discussed. President Glotz asked if there were any comments from members of the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-006 GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION TO THE PLANNED UNIT DEVELOPMENT (PUD) FOR THE RESIDENCES AT BROOKSIDE GLEN / MAGNUSON APARTMENTS**. Karli Mayher on behalf of One Magnuson Lane, LLC, seeks a Special Use Permit for a substantial deviation to the Planned Unit Development (PUD) for the Residences at Brookside Glen/Magnuson Apartments at 19248-88 Magnuson Lane. The approval allows for design changes to the previously approved PUD.

The Plan Commission held a Public Hearing on December 16, 2021, and January 6, 2022, and voted 5-3 to recommend approval of the Special Use in accordance with the listed plans and Findings of Fact in the Staff Report, with conditions as revised at the January 6, 2022, public hearing. Open items per the revised conditions included the appearance of the exterior mechanical rooftop units, submission of a financial guarantee approved by the Village Board, and construction timeline. In response to the conditions, the petitioner will provide revised documents (elevations).

The Committee of the Whole discussed this case at the January 18, 2022, meeting and this was discussed as a first read later that evening at the Village Board meeting.

Community Development Director Kimberly Clarke stated the most up-to-date drawings are attached to the Ordinance and a performance bond must be established prior to any permits being issued. The developer has also acknowledged the requirement that all amenities, (i.e. clubhouse, pool, etc.) must be in place before the issuance of occupancy permits for the first building.

Trustee Mueller asked for confirmation that a performance bond must be established prior to any permits being issued and the permits will be for all four (4) buildings and the amenities building. Ms. Clarke confirmed. He also asked the order in which the buildings will be constructed. Ms. Clarke stated the planned order. President Glotz asked if there were any comments from the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Muller, seconded by Trustee Sullivan to adopt and place on file **ORDINANCE 2022-O-013 GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT (THE TINLEY DOWNS PLAZA.** Richard Mommsen on behalf of Daley -Mommsen Enterprises (d/b/a Dunkin' Donuts) seeks a Special Use Permit for the Tinley Downs Plaza Planned Unit Development. The PUD approval includes exceptions to the Zoning Ordinance and allows for the redevelopment of the out-lot building for a Dunkin Donuts drive-thru.

The Plan Commission held a Public Hearing on January 20, 2022, and voted 7-0 to recommend approval of the Special Use in accordance with the listed plans, recommended conditions, and Findings of Fact in the Staff Report. President Glotz asked if there were any comments from members of the Board or the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Muller, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-014 FOR THE TRANSFER OF PROPERTY PURSUANT TO THE ILLINOIS LOCAL GOVERNMENT PROPERTY TRANSFER ACT (7551 191ST STREET, TINLEY PARK, IL).** This ordinance approves a purchase and sale agreement between the Village of Tinley Park and the Board of Education of Lincoln-Way Community Highschool District 210 for property located at 7551 191st Street. President Glotz asked if there were any comments from members of the Board or the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady to adopt and place on file **RESOLUTION 2022-R-010 AUTHORIZING THE RELEASE OF CERTAIN EXECUTIVE SESSION MINUTES.** Pursuant to 5 ILCS 120/2.06(d) of the Illinois Open Meetings Act, the President and Board of Trustees of the Village of Tinley Park periodically meet and review the minutes of all meetings of the President and Board of Trustees that had been closed to the public. After review the following Executive Session minutes will be released:

March 11, 2021	July 17, 2018	February 6, 2017
December 1, 2020	May 1, 2018	January 17, 2017
September 15, 2020	April 17, 2018	January 3, 2017
June 16, 2020	March 20, 2018	December 6, 2016
June 9, 2020	December 19, 2017	November 1, 2016
May 19, 2020	December 12, 2017	October 4, 2016
May 6, 2020	October 3, 2017	September 13, 2016
January 7, 2020	October 10, 2017	August 2, 2016
December 17, 2019	August 8, 2017	March 15, 2016
November 12, 2019	June 20, 2017	March 1, 2016
April 10, 2019	May 9, 2017	February 16, 2016
February 19, 2019	May 2, 2017	February 2, 2016
November 20, 2018	April 11, 2017	July 14, 2015
October 16, 2018	March 7, 2017	April 22, 2013
August 14, 2018	February 21, 2017	

President Glotz asked if there were any comments from members of the Board or the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady to adopt and place on file **ORDINANCE 2022-R-015 AMENDING TITLE V CHAPTER 50 OF THE TINLEY PARK MUNICIPAL CODE ENTITLED “WATER” PERTAINING TO DELINQUENT NOTICES.** Section §50.028 of the municipal code was amended in 2019, which included changes to the delivery process of notice of discontinuation of service to U.S. Priority Mail. The Village has been unable to implement this due to bulk quantity supplies, printing companies unable to meet the time frame requirements, and cost. Public Works clerical staff can complete the process more effectively. Request to amend Ordinance 2019-O-032 regarding delinquent notices as outlined in Title V Chapter 50 Section §50.028 of the Municipal Code to replace U.S. Priority Mail with U.S. Postal Service. President Glotz asked if there were any comments from members of the Board or the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady to adopt and place on file **ORDINANCE 2022-O-010 AN ORDINANCE RESCINDING ORDINANCE 2021-O-082 AND ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE BOND ORDER DATED JUNE 5, 2013 IN CONNECTION WITH THE ISSUANCE OF \$11,340,000 GENERAL OBLIGATION BONDS, SERIES 2013 OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, AS AMENDED BY THE “CERTIFICATE OF REDUCTION OF TAXES HERETOFORE LEVIED FOR THE PAYMENT OF BONDS” DATED DECEMBER 2, 2021.** It has been determined that Ordinance 2021-O-082 conflicted with the revised Tax Levy requirements for the Series 2013 bonds due to the recent sale and issuance of the \$5,965,000 Taxable General Obligation Refunding Bonds, Series 2021B (“Series 2021B bonds”) which advance refunds a portion of the Series 2013 bonds. This ordinance rescinds the abatement previously provided in ordinance 2021-O-082 and replaces it with new abatement instructions that correspond to the amended Tax Levy requirements for the Series 2013 bonds contained in the “Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds” dated December 2, 2021, which was necessitated by the issuance of the Series 2021B bonds and the advance refunding of the portion of the Series 2013 bonds. This ordinance abates \$410,594.02 of the 2021 Tax Levy requirements of \$718,500.00 for the Series 2013 bonds, as amended, leaving \$307,905.98 as the remaining 2021 Tax Levy amount. The sources and amounts of the funds to support this abatement are as follows:

Hotel Tax Debt Service Reserve	\$287,400.00
Sewer Fund	\$102,637.73
Stormwater Management Fund	\$ 12,839.59
New Bremen TIF District	\$ 7,716.70

President Glotz asked if there were any comments from members of the Board or the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-011 AN ORDINANCE ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$5,965,000 TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS.** This ordinance abates a portion of the 2021 Tax Levy requirements for the Series 2021B bonds as contained in both the “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B” and the

“Direction for Abatement of Taxes” dated December 2, 2021, in connection with the issuance of the \$5,965,000 Taxable General Obligation Refunding Bonds, Series 2021B (“Series 2021B bonds”). This ordinance abates \$158,814.73 of the 2021 Tax Levy requirements of \$200,908.75 for the Series 2021B bonds, leaving \$42,094.02 as the remaining 2021 Tax Levy amount. Combined, the abatement directions provided within ordinances 2022-O-010 and 2022-O-011 leave a total debt service levy for the Village of Tinley Park of \$350,000 (excluding the Tinley Park Public Library), which has remained unchanged since Tax Year 2009. The sources and amounts of the funds to support this abatement are as follows:

Hotel Tax Debt Service Reserve	\$80,363.50
Surtax Capital Projects Fund	\$44,003.41
Sewer Fund	\$28,669.82
Stormwater Management Fund	\$ 3,590.24
New Bremen TIF District	\$ 2,157.76

President Glotz asked if there were any comments from members of the Board or the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-012 AN ORDINANCE ABATING ALL OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$8,940,000 GENERAL OBLIGATION BONDS, SERIES 2021A OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS.** This ordinance abates all \$747,001.67 of the 2021 Tax Levy requirements for the Series 2021A bonds as Contained in both the “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B” and the “Direction for Abatement of Taxes” dated December 2, 2021, in connection with the issuance of the \$8,940,000 General Obligation Bonds, Series 2021A (“Series 2021A bonds”). The bond issue will support infrastructure improvements for the Village Water and Sewer system and will be supported by the utility revenues of those funds. President Glotz asked if there were any comments from members of the Board or the public. There were none. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

President Glotz asked if there were any comments from members of the Staff.

Village Manager Pat Carr stated the Village has come to an agreement with the Illinois Department of Central Management Services (CMS) for the purchase of the Tinley Park Mental Health Center property. It will be presented to the State Legislature in the Spring Session.

Mr. Carr commented on the impending snow and commended Public Works and Public Safety for the Incident/Action Plan created for this weather event.

Mr. Carr stated in regards to the ice rink which was erected on Village property, the Village will be meeting with the involved parties to come to a resolution.

Ms. Clarke stated the first commercial tenant in the Boulevard, Popus Gourmet Popcorn, has begun their interior build-out.

President Glotz asked if there were any comments from members of the Board.

Trustee Mueller wished safety to all and thanked everyone for keeping the Village safe. He also noted residents could assist by slowing down while driving.

President Glotz commented on Trustee Galante's comments from the January 18, 2022, Village Board meeting concerning a Village supplied attorney in regards to the ethics complaint filed against her. He stated that in the past an attorney has not been supplied to Board members or staff in regards to ethics complaints, Attorneys have been supplied in regards to lawsuits.

Trustee Galante stated that her concerns regarding misconduct in the Village went unanswered and was instructed to retain her own attorney to take her statement. She stated she did not give out confidential information.

At this time President Glotz began another comment and Trustee Galante raised a point of order which was denied by President Glotz.

President Glotz stated Representative Tim Ozinga has introduced two (2) bills regarding the Tinley Park Mental Health Center property. One Bill for \$15million for the clean-up of the property and one for the transfer of the property.

President Glotz asked if there were any comments from members of the public.

A resident commented on the response from an ambulance company.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney at 7:24 p.m. to adjourn to Executive Session to discuss the following:

- A. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.
- B. LITIGATION, WHEN AN ACTION AGAINST, AFFECTING OR ON BEHALF OF THE PARTICULAR PUBLIC BODY HAS BEEN FILED AND IS PENDING BEFORE A COURT OR ADMINISTRATIVE TRIBUNAL, OR WHEN THE PUBLIC BODY FINDS THAT AN ACTION IS PROBABLE OR IMMINENT, IN WHICH CASE THE BASIS FOR THE FINDING SHALL BE RECORDED AND ENTERED INTO THE MINUTES OF THE CLOSED MEETING.
- C. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.

Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to adjourn the Village Board meeting at 8:44

Meeting of the Board of Trustees – Minutes

February 1, 2022

p.m. Vote on roll call. Ayes: Brady, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: Brennan. President Glotz declared the motion carried.

PLEASE NOTE: Where there is no summary of discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

APPROVED:

Village President

ATTEST:

Village Clerk

DRAFT

TINLEY PARK BUSINESS SPOTLIGHT

President Glotz and
Clerk O'Connor

CONSIDER THE APPOINTMENT OF

ARLAN SCHATTKE

VILLAGE ENGINEER

President Glotz



Administrative Office
Business Office
10833 S. LaPorte
Oak Lawn, IL 60453
Phone: (708) 425-3344
Fax: (708) 425-3530

January 25, 2022

Village of Tinley Park
Ms. Nancy O'Connor, Village Clerk
16250 Oak Park Ave
Tinley Park IL 60477-1600

Dear Ms. O'Connor:

Park Lawn is a local nonprofit that is a vital part of the community serving individuals with developmental disabilities. We are contacting you today for permission to tag in front of your store for the Park Lawn Tag Day Event. Park Lawn's federal EIN is 36-2406623 and we are an official member of the Council of Tag Day Organizations. Park Lawn has 12 facilities throughout the Chicago south suburbs and the families that benefit from these programs are located throughout the entire Chicago area.

Park Lawn's Tag Days are scheduled for Friday and Saturday, April 8th, 9th, 15th and 16th, 2022. Community volunteers will be soliciting for donations on street corners and by storefronts from 8:00 a.m. until 8:00 p.m. or dusk. We provide volunteers with a bright orange safety vest, collection bucket and hand-out with Park Lawn's logo and information. Park Lawn and its volunteers will adhere to all social distance requirements and will wear a mask at all times.

Please fax the signed form to me at 708-229-9325. If faxing is not available, please call me at (708) 425-6867 or mail the form below to Park Lawn, 10833 S. LaPorte Ave. Oak Lawn, IL 60453. You can also scan and email the form to me at mdynia@parklawn.com.

Once again, thank you for your continued support.

Kind regards,
Mark Dynia
Mark Dynia, Marketing Manager

Permission is granted to Park Lawn to tag on the following dates:

April 8th _____ April 9th _____ April 15th _____ April 16th _____

Authorized Signature: _____ Date: _____

Name in Print: _____ Title: _____

Adult Developmental Training
10833 S. LaPorte
Oak Lawn, IL 60453
(708) 425-3344
Fax: (708) 425-3530

Vocational Services Supported Employment Program
5040 W. 111th St.
Oak Lawn, IL 60453
(708) 425-7377
Fax: (708) 425-7899

Residential Services Park Lawn Center/CILA
5831 W. 115th St.
Alsip, IL 60803
(708) 396-1117
Fax: (708) 396-1186

Residential Services Park Lawn Homes
12615 S. Kostner
Alsip, IL 60803
(708) 385-1982
Fax: (708) 385-8145

Park Lawn Association Development Office
10833 S. LaPorte
Oak Lawn, IL 60453
(708) 425-6867
Fax: (708) 229-9325

A NON-PROFIT ORGANIZATION SERVING INDIVIDUALS WITH INTELLECTUAL AND DEVELOPMENTAL DISABILITIES SINCE 1955

Donations are deductible to the extent allowed by the IRS Codes.

www.parklawn.com • www.parklawnpackagingservices.org





Interoffice Memo

Date: February 11, 2022

To: Committee of the Whole

From: Pat Carr, Village Manager

Subject: South Suburban Mayors and Managers Association Renewal

We would like to discuss with the Committee the renewal of our membership dues to South Suburban Mayors and Managers Association (SSMMA). SSMMA works with local, state and federal government to secure resources, spur investment and economic growth, and rebuild infrastructure. Renewal invoice is attached.

In the past, SSMMA has been instrumental in helping us secure funds for Village capital projects and has kept us informed of available grant opportunities and upcoming legislation.

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

RESOLUTION
NO. 2022-R-016

**A RESOLUTION APPROVING RENEWAL OF SOUTH SUBURBAN MAYORS & MANAGERS
ASSOCIATION MEMBERSHIP (SSMMA)**

MICHAEL W. GLOTZ, PRESIDENT
NANCY M. O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

RESOLUTION NO. NO. 2022-R-016**A RESOLUTION APPROVING RENEWAL OF SOUTH SUBURBAN MAYORS & MANAGERS ASSOCIATION MEMBERSHIP (SSMMA)**

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered the membership renewal with South Suburban Mayors and Managers Association (SSMMA), Inc., a true and correct copy of such Invoice being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Membership be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Membership" be entered into and executed by said Village of Tinley Park, with said Invoice to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Contract.

Section 4: That this Resolution shall take effect from and after its adoption and approval.

ADOPTED this 15th day of February, 2022, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 15th day of February, 2022, by the President of the Village of Tinley Park.

Village President

ATTEST:

Village Clerk

EXHIBIT 1

SOUTH SUBURBAN MAYORS & MANAGERS ASSOCIATION MEMBERSHIP (SSMMA) INVOICE

STATE OF ILLINOIS)
 COUNTY OF COOK) SS
 COUNTY OF WILL)

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. NO. 2022-R-016 “A RESOLUTION APPROVING RENEWAL OF SOUTH SUBURBAN MAYORS & MANAGERS ASSOCIATION MEMBERSHIP (SSMMA)” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 15, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 15th day of February, 2022.

VILLAGE CLERK



Invoice

1904 W. 174th Street
 East Hazel Crest, IL 60429
 Phone # 708-206-1155

Bill To:
Village of Tinley Park 16250 S. Oak Park Ave. Tinley Park, IL 60477-1628

Date	Invoice #
1/31/2022	2022-092
Due Date	4/1/2022

Please direct any questions regarding this invoice to Melissa Doud at (708) 922-4678 or melissa.doud@ssmma.org.

Description	Qty	Rate	Amount
2022 Membership Dues	1	30,176.00	30,176.00
Vendor Fair Member Appreciation Dinner 3/17/22	2	50.00	100.00
Annual Jingle and Mingle Holiday Dinner 12/1/22	2	50.00	100.00

FEIN 36-2981932
 3.5% Credit Card Processing Fee

Payments/Credits \$0.00

Total Due	\$30,376.00
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Thank you for your continued support of the
 South Suburban Mayors & Managers Association.

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Voucher List
Village of Tinley Park

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Bank code : ap_ff

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1022	11/9/2021	016364 HICKEY, KEVIN	11092021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1023	11/9/2021	019104 SARHAGE, SEAN	11092021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1024	11/9/2021	015560 RUSS, CHARLES	110921		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1025	11/9/2021	020349 GIL, DARIUSZ	110921		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1026	11/9/2021	020350 FRENCH, JEFFREY	11092021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1027	11/9/2021	011135 MAZZIOTTA, DANIEL	11092021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1028	11/9/2021	020351 TURNER JR., WILLIAM	110921		FITNESS WATCH 36-00-000-74032	296.44
					Total :	296.44
1029	11/9/2021	004120 ERWIN, DOUGLAS	110921		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1030	11/9/2021	009123 WITTMAN, MICHAEL	11092021		FITNESS WATCH 36-00-000-74032	229.00
					Total :	229.00
1031	11/9/2021	010097 GRIFFIN, TIMOTHY	11092021		FITNESS WATCH	

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Voucher List
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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1031	11/9/2021	010097 GRIFFIN, TIMOTHY	(Continued)		36-00-000-74032	263.98
					Total :	263.98
1032	11/3/2021	018612 EMMANOUILIDIS, ALEXANDER	11032021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1033	11/16/2021	020352 MAZZIOTTA, ANTHONY	111621		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1034	12/9/2021	020353 BARRY, JOHN	120921		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1036	11/10/2021	020354 LITKENHUS, JACOB	111021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1037	11/9/2021	020355 BEST, TIMOTHY	11092021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1038	11/19/2021	003811 DUNN, KRISTOPHER	11192021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1039	11/12/2021	020356 MULLER, TYLER	11122021		FITNESS WATCH 36-00-000-74032	296.44
					Total :	296.44
1040	11/15/2021	010735 BOHLSSEN, NICHOLAS	11152021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1041	11/12/2021	020383 BLACKMORE, MATTHEW	11122021		FITNESS WATCH 36-00-000-74032	300.00

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Voucher List
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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1041	11/12/2021	020383 020383 BLACKMORE, MATTHEW	(Continued)			Total : 300.00
1042	11/15/2021	020384 PEASLEE, SEAN	11152021		FITNESS WATCH 36-00-000-74032	254.94 Total : 254.94
1043	11/15/2021	017784 STUBE, CHRIS	11152021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1044	11/12/2021	006370 O'HAGAN, TIMOTHY	11122021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1045	11/22/2021	020385 SIMON, RYAN	11222021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1046	11/17/2021	020386 SMITH, NICHOLAS	11172021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1047	11/12/2021	010673 O'DWYER, PATRICK	11122021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1048	11/12/2021	018613 ZANTA, RYAN	11122021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1050	11/17/2021	020357 FITZMAURICE, LIAM	11172021		FITNESS WATCH 36-00-000-74032	220.49 Total : 220.49
1051	11/15/2021	020358 REYES, PAUL	11152021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00

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Voucher List
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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1052	11/15/2021	020359 SWARTZENTRUBER, TODD	11152021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1053	11/15/2021	020389 SWARTZENTRUBER, JOSHUA	11152021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1054	11/16/2021	016102 GRZESZKIEWICZ, STEVEN	11162021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1055	11/16/2021	020360 IWANAGA, JEFFREY	11162021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1056	11/22/2021	020361 MURPHY, JOHN	11222021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1057	11/19/2021	020362 ZANTA, MATTHEW	11192021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1058	11/22/2021	020363 BERAN, ROBERT	11222021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1059	11/19/2021	016815 HOOPES, ANYAETTA	11192021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1060	11/21/2021	016206 MARIANOVICH, PETE	11212021		FITNESS WATCH 36-00-000-74032	215.49
					Total :	215.49
1061	11/21/2021	020364 CURTIS, STEVEN	11212021		FITNESS WATCH 36-00-000-74032	300.00

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Voucher List
Village of Tinley Park

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1061	11/21/2021	020364 020364 CURTIS, STEVEN	(Continued)			Total : 300.00
1063	11/23/2021	015504 KUSHNER, JEFFREY	11232021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1064	11/23/2021	020365 FIGUEROA, ANTHONY	11232021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1065	11/24/2021	020366 FEINBERG, JEREMY	11242021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1066	11/24/2021	015327 TONRA, THOMAS	11242021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1067	11/24/2021	020367 SCANLON, REBECCA	11242021		FITNESS WATCH 36-00-000-74032	272.44 Total : 272.44
1069	11/24/2021	020368 O'DETTE, JOSEPH	11242021		FITNESS WATCH 36-00-000-74032	268.30 Total : 268.30
1070	11/24/2021	013075 REYNOLDS, ROBERT	11242021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1071	11/24/2021	020369 ADKINS, DAVID	11242021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1072	11/24/2021	020370 CASNER, ADAM	11242021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1073	11/26/2021	020371 BROOKS, TIMOTHY	11262021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1074	11/29/2021	012705 CULBERTSON, ADAM	11292021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1075	11/29/2021	020372 ROJAS, BRANDON	11292021		FITNESS WATCH 36-00-000-74032	271.24
					Total :	271.24
1077	11/29/2021	020373 HAAGA, JOSEPH	11292021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1078	11/30/2021	020374 PROSZEK, TREVOR	11302021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1079	11/30/2021	020375 HODGE, JILL	11302021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1080	11/30/2021	015187 BERAN, DONNA	11302021		FITNESS WATCH 36-00-000-74032	109.70
					Total :	109.70
1081	11/30/2021	015384 REDA, DANIEL	11302021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1082	11/30/2021	020376 MILLERICK, BRIAN	11302021		FITNESS WATCH 36-00-000-74032	300.00
					Total :	300.00
1083	12/2/2021	015688 GILGENBERG, MICHAEL	12022021		FITNESS WATCH 36-00-000-74032	300.00

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Village of Tinley Park

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1083	12/2/2021	015688 015688 GILGENBERG, MICHAEL	(Continued)			Total : 300.00
1084	12/3/2021	020377 GRECO, JOSEPH	12032021		FITNESS WATCH 36-00-000-74032	269.35 Total : 269.35
1085	12/3/2021	020378 GUDYKA, BRYAN	12032021		FITNESS WATCH 36-00-000-74032	262.30 Total : 262.30
1086	12/3/2021	020379 KUSHNER, MICHAEL	12032021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1087	12/5/2021	017115 BUTERA, ANTHONY	12052021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1088	12/5/2021	020380 KRUG, CHARLES	12052021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1090	12/9/2021	020381 GRANT, DANIEL	12092021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1091	12/9/2021	020382 LUDKE II, RANDY	12092021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1092	12/9/2021	012704 MURRAY JR, WILLIAM	12092021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00
1093	12/9/2021	012286 WOOTEN, JAMES	12092021		FITNESS WATCH 36-00-000-74032	300.00 Total : 300.00

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Voucher List
Village of Tinley Park

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Bank code : ap ff

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1094	12/9/2021	006968 RICHARDS, SHAWN	12092021		FITNESS WATCH 36-00-000-74032	300.00
Total :						300.00
1095	12/9/2021	020387 ROEMER, BRADLEY	12092021		FITNESS WATCH 36-00-000-74032	300.00
Total :						300.00
1096	12/9/2021	020388 BLOMBERG, THOMAS	12092021		FITNESS WATCH 36-00-000-74032	300.00
Total :						300.00
1097	12/9/2021	003511 CULLIGAN WATER CONDITIONING	48862		BOTTLE FREE COOLER RENTAL 36-00-000-73845	13.00
Total :						13.00
70 Vouchers for bank code : ap_ff						Bank total : 20,043.11

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Voucher List
Village of Tinley Park

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Bank code : ap py

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>	
126356	2/4/2022	017391 VSP ILLINOIS	PR010122		VSP 30061452 COBRA PMT-OCT&N 86-00-000-20432	23.36	
Total :						23.36	
1 Vouchers for bank code : ap_py						Bank total :	23.36

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195698	2/4/2022	019563 AEP ENERGY INC	3013134248		ACCT#3013134248 UTIL#438402801 01-26-024-72510	126.60
			3013134259		ACCT#3013134259 #4623055116 19 01-26-024-72510	17,045.24
					08-00-000-72510	151.98
			3013134260		ACCT#3013134260 UTIL#677116304 01-26-024-72510	214.66
Total :						17,538.48
195699	2/4/2022	002734 AIR ONE EQUIPMENT, INC	177176		HELMET WITH EYE SHIELD 01-19-000-74619	970.00
Total :						970.00
195700	2/4/2022	002856 AIRY'S, INC	25862		WATER MAIN BREAK 7265 W 171ST 60-00-000-72745	3,513.73
			25863		WATER MAIN BREAK 7288 W 174TH 60-00-000-72745	2,215.64
			25866		WATER MAIN BREAK REPAIR 17146 60-00-000-72745	2,640.09
Total :						8,369.46
195701	2/4/2022	011227 AMERICAN SOLUTIONS FOR	INV05799299	VTP-018905	W-2 AND 1099 FORMS AND ENVELOPES 01-14-000-73110	263.07
Total :						263.07
195702	2/4/2022	002628 AMERICAN WATER	020122		JAN'22 SEWER TREATMENT BROODING 64-00-000-73225	92,714.54
Total :						92,714.54
195703	2/4/2022	020071 AMSIVE LLC	551141		LATE NOTICES 60-00-000-72310	241.57
					64-00-000-72310	103.53
Total :						345.10
195704	2/4/2022	003166 B & J TOWING AND AUTO REPAIR	19616		SAFETY INSPECTION 01-26-023-72266	28.00
					60-00-000-72266	39.90

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Voucher List
Village of Tinley Park

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Bank code : apbank

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195704	2/4/2022	003166 B & J TOWING AND AUTO REPAIR	(Continued)		63-00-000-72266	39.90
					64-00-000-72266	34.20
					01-26-024-72266	25.00
					Total :	167.00
195705	2/4/2022	020345 BASELINE INC	12352-2022		1YR BASEMANAGER PLUS SVC FC	
					01-26-023-72655	199.00
					Total :	199.00
195706	2/4/2022	010953 BATTERIES PLUS - 277	P48335959		LITHIUM AND ALKALINE BATTERIES	
					01-26-024-73870	8.49
					01-26-023-73870	16.98
					60-00-000-73870	5.94
					63-00-000-73870	5.94
					64-00-000-73870	5.10
					Total :	42.45
195707	2/4/2022	012511 BEST BUY BUSINESS ADVANTAGE	BBY01-806572409830		****5339 CANON EOS 90D DSLR CA	
					01-35-000-72982	1,579.99
					Total :	1,579.99
195708	2/4/2022	012966 BOLING, THOMAS	01-22		SHAREPOINT MAINTENANCE JAN'2	
					01-16-000-72650	3,225.00
					Total :	3,225.00
195709	2/4/2022	003013 BROWNELLS, INC.	21931097.00	VTP-018921	FIREARM/RANGE EQUIPMENT	
					01-17-220-73760	1,637.03
					Total :	1,637.03
195710	2/4/2022	003328 CATCHING FLUIDPOWER INC	K95821-001		PH HOSE ASSY,FITTING	
					01-26-023-72540	182.26
					Total :	182.26
195711	2/4/2022	003406 CDS OFFICE TECHNOLOGIES	INV1431251		AIRGAIN MULTIMAX FV	
					01-16-000-74128	468.00
					Total :	468.00

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195712	2/4/2022	014026 CHANDLER SERVICES	28282		SVC AND REPAIR UNIT E46 01-19-000-72540	4,993.54
			28294		SOCKET SET SCREW,SIDE PUMP 1 01-19-000-72540	71.86
					Total :	5,065.40
195713	2/4/2022	015199 CHICAGO PARTS & SOUND LLC	2J0003425	VTP-018950	EMERGENCY EQUIPMENT/ INVERT 60-00-000-74232	2,625.00
					Total :	2,625.00
195714	2/4/2022	018198 CHICAGOLAND INVESTIGATIVE SERV	5592		PRE EMPLOYMENT INVESTIGATION 01-26-023-72446	619.98
					60-00-000-72446	272.93
					63-00-000-72446	160.97
					64-00-000-72446	160.97
					Total :	1,214.85
195715	2/4/2022	020391 CHIPOTLE MEXICAN GRILL	Ref001417086		UB Refund Cst #00515167 60-00-000-20599	75.00
					Total :	75.00
195716	2/4/2022	013820 CINTAS CORPORATION	4108810986		MATS - PD 01-26-023-72790	111.81
			4108959833		MATS-VH 01-26-025-72790	210.33
					Total :	322.14
195717	2/4/2022	013892 COMED	6771163052		ACCT#6771163052 TRAFFIC SIGNA 01-26-025-72510	2,656.27
					Total :	2,656.27
195718	2/4/2022	013878 COMED - COMMONWEALTH EDISON	0021100130		ACCT#0021100130 17529 66TH AVE 01-26-024-72510	45.68
			0052035006		ACCT#0052035006 6720 SOUTH ST 01-26-025-72510	1,703.09
			0363058226		ACCT#0363058226 9340 W 179TH S 01-26-024-72510	143.41

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195718	2/4/2022	013878 COMED - COMMONWEALTH EDISON	(Continued) 0369095018		ACCT#0369095018 6761 NORTH ST 01-26-024-72510	748.10
			0522112018		ACCT#0522112018 17048 OPA 12/20 01-26-024-72510	23.84
			1222218001		ACCT#1222218001 1 E OPA 12/20/2 70-00-000-72510	98.67
			1224165129		ACCT#1224165129 7053 W 183RD S 01-26-024-72510	95.37
			2761036017		ACCT#2761036017 8317 AMBERLY 01-26-024-72510	74.45
			3784064010		ACCT#3784064010 16301 CENTRAL 60-00-000-72510	150.83
			6483053261		63-00-000-72510 ACCT#6483053261 17495 S LAGRAI 01-26-023-72510	150.83
			6771163043		ACCT#6771163043 87TH AVE 3PS 1 01-26-024-72510	23.40
			7063131025		ACCT#7063131025 7813 174TH ST I 64-00-000-72510	2,846.31
			7398024011		ACCT#7398024011 7000 W 183RD S 01-26-024-72510	61.66
					Total :	6,229.78
195719	2/4/2022	018311 CONNECTION	72294994		DEFENDER PRO CASE,COMMUTEF 01-16-000-74128	55.88
			72330070		HP78A BLACK TONER 01-12-000-73110	142.79
			72345066		FOSSIL BLACK PRO AND IPHONE C 01-16-000-74128	108.76
			72350275		FOSSIL BLACK PRO AND IPHONE C 01-16-000-74128	73.90
			F72330088		Z150 MULTIMEDIA 2.0 SPEAKERS 01-16-000-74128	23.99
					Total :	405.32
195720	2/4/2022	012410 CONSERV FS, INC.	66047062		EARTHWAY 2040PIPLUS HI OUTPU	

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195720	2/4/2022	012410 CONSERV FS, INC.	(Continued)		01-26-023-73870	255.00
					Total :	255.00
195721	2/4/2022	018234 CORE & MAIN LP	Q210440		SENSUS ANALYTIC ENHANCED YR	
					60-00-000-72655	10,571.40
					63-00-000-72655	1,174.60
					64-00-000-72655	5,034.00
			Q248115		664S VALVE BOX ASY,SCREW VB F	
					60-00-000-73630	442.83
					63-00-000-73630	49.20
					64-00-000-73630	210.87
					Total :	17,482.90
195722	2/4/2022	014690 DARLING INGREDIENTS INC	11966948		SANITATION TRAP FEE 80TH AVE T	
					01-26-025-72530	171.00
					Total :	171.00
195723	2/4/2022	018743 DON'S WORLD OF SPORTS INC.	49591		CUST GARMETS EMBROIDERED	
					01-19-020-73610	32.00
					Total :	32.00
195724	2/4/2022	004009 EAGLE UNIFORM CO INC	INV-5803	VTP-018597	BLANKET PO FOR CLASS B UNIFOI	
			INV-5805		01-19-000-73610	313.00
				VTP-018597	BLANKET PO FOR CLASS B UNIFOI	
					01-19-000-73610	235.00
					Total :	548.00
195725	2/4/2022	004152 ECOLAB PEST ELIMINATION INC.	6109805		COCKROACH/RODENT PROGRAM	
			6109806		01-26-025-72790	573.44
					COCKROACH/RODENT PROGRAM	
					01-26-025-72790	86.48
					Total :	659.92
195726	2/4/2022	004176 FEDEX (FEDERAL EXPRESS)	7-614-01825		ACCT#628785953 SHIPPING COSTS	
			7-627-20874		01-26-023-72110	17.47
					ACCT#628785953 SHIPPING COSTS	

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195726	2/4/2022	004176 FEDEX (FEDERAL EXPRESS)	(Continued)		60-00-000-72110 64-00-000-72110	62.43 26.76
					Total :	106.66
195727	2/4/2022	020195 FOREST PRINTING COMPANY	109673		BUSINESS CARDS - N.O'CONNOR 01-13-000-72310	72.30
					Total :	72.30
195728	2/4/2022	011611 FOX VALLEY FIRE & SAFETY CO.	IN00495709	VTP-018783	RADIO INSPECTIONS 7506-7510 15 14-00-000-72550	1,009.00
			IN00495852	VTP-018398	WIRELESS ALARM MAINTENANCE 14-00-000-72750	217.00
			IN00495887		KELTRON ANNUAL LICENSE & SUP 14-00-000-72655	3,184.00
					Total :	4,410.00
195729	2/4/2022	002877 G. W. BERKHEIMER CO., INC.	18026		ROOF TOP FILTERS FOR VH 01-26-025-72520	88.90
					Total :	88.90
195730	2/4/2022	019349 GARVEY'S OFFICE PRODUCTS	PINV22015110		CVR RPT CLRFRONT 01-19-020-73110	28.20
					Total :	28.20
195731	2/4/2022	018387 GBJ SALES, LLC	4100		TIGER GRIP GLOVES 60-00-000-73845 63-00-000-73845 64-00-000-73845	193.88 21.54 92.33
					Total :	307.75
195732	2/4/2022	004538 GOLDY LOCKS INC	703023		DOUBLE AND SINGLE CUT DUPLIC 01-42-000-72540	37.00
					Total :	37.00
195733	2/4/2022	015397 GOVTEMPSUSA LLC	3886606		S. PRZYBYLSKI WEEK ENDING 1/2/ 01-12-000-72790	273.00

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195733	2/4/2022	015397 015397 GOVTEMPSUSA LLC	(Continued)			Total : 273.00
195734	2/4/2022	004438 GRAINGER	9193243491		TRANSDUCER FOR POST 11	
				VTP-018948	60-00-000-72528	436.94
				VTP-018948	63-00-000-72528	187.26
					Total :	624.20
195735	2/4/2022	014491 HANSEN DOOR INC.	10745		REPLACED BROKEN CABLE - PW I	
					01-26-025-72520	740.84
					Total :	740.84
195736	2/4/2022	019784 HEARTLAND BUSINESS SYSTEMS LLC	483188-H		NETWORK SECURITY CONTRACTC	
				VTP-018714	30-00-000-72872	787.50
					Total :	787.50
195737	2/4/2022	010238 HOME DEPOT CREDIT SERVICES	WP25514326		****2304 OATLEY 6IN SS FLAT CLEA	
					01-26-025-72520	5.89
					Total :	5.89
195738	2/4/2022	015854 IFSAP	012722		FOIA/OMA TRAINING 2/18/22	
					01-19-020-72140	15.00
					Total :	15.00
195739	2/4/2022	004955 ILCMA	3338		JOB AD POSTING FINANCE DIREC1	
					01-15-000-72446	100.00
					Total :	100.00
195740	2/4/2022	017381 ILLINOIS DARE OFFICERS ASSOC	011722		MEMBERSHIP M.BONAREK	
			011722.		01-17-205-72720	20.00
			011722..		MEMBERSHIP - R.SHERVINO	
			011722...		01-17-205-72720	30.00
					MEMBERSHIP S.LONDON	
					01-17-205-72720	20.00
					MEMBERSHIP S.BISHOP	
					01-17-205-72720	20.00
					Total :	90.00
195741	2/4/2022	018745 ILLINOIS FIREFIGHTER PEER	S12522		ILLINOIS FIREFIGHTER PEER SUPP	

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195741	2/4/2022	018745 ILLINOIS FIREFIGHTER PEER	(Continued)	VTP-018943	01-21-210-72140	175.00
Total :						175.00
195742	2/4/2022	018745 ILLINOIS FIREFIGHTER PEER	S12722		PEER SUPPORT SYMPOSIUM - M.Z 01-17-220-72140	175.00
Total :						175.00
195743	2/4/2022	004985 ILLINOIS STATE TOLL HWY AUTH	G121000005426		ACCT#9944 TOLL FEES 10/1-12/31/ 01-17-205-72130	4.42
Total :						4.42
195744	2/4/2022	007233 JOLIET SUSPENSION, INC.	130333	VTP-018944 VTP-018944 VTP-018944	REPLACE REAR SPRINGS W/ HEAV 60-00-000-72540 63-00-000-72540 64-00-000-72540	768.40 256.13 439.09
Total :						1,463.62
195745	2/4/2022	011800 MAC TOOLS DISTRIBUTOR	172960		CARBIDE CUTTER 01-26-025-73410	45.99
Total :						45.99
195746	2/4/2022	019379 MACQUEEN EMERGENCY GROUP	W01481 W01547		VELOCITY AERIAL REPAIR T-48 01-19-000-72540 VELOCITY AERIAL SERVICE FOR C 01-19-000-72540	2,881.25 1,571.07
Total :						4,452.32
195747	2/4/2022	020322 MASTER AUTO SUPPLY	15030-113385 15030-113460 15030-113461 15030-113486		COIL FOR EMA STOCK 01-21-000-72540 MANIFOLD CONVERTER - VM VEHI 01-12-000-72540 MANIFOLD CONVERTER VM 01-12-000-72540 THERMOSTAT HOUSING 60-00-000-72540 63-00-000-72540	68.08 479.06 498.02 8.21 2.74

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195747	2/4/2022	020322 MASTER AUTO SUPPLY	(Continued)			
			15030-113504		64-00-000-72540 OE TYPE O2 SENSOR	4.68
					60-00-000-72540	74.12
					63-00-000-72540	24.71
					64-00-000-72540	42.35
			15030-113567		OIL FILTER HOUSING #28 WATER	
					60-00-000-72540	104.41
					63-00-000-72540	34.80
					64-00-000-72540	59.66
			15030-113585		CABIN AIR FILTER WATER 28	
					60-00-000-72540	12.96
					63-00-000-72540	4.32
					64-00-000-72540	7.40
					Total :	1,425.52
195748	2/4/2022	005645 MEADE ELECTRIC COMPANY INC.	699038		TRAFFIC SIGNAL MAINTENANCE	
					01-26-024-72775	554.85
					Total :	554.85
195749	2/4/2022	006074 MENARDS	16818		MAIXBOX POST KIT,LAG SCREW,D	
					01-26-023-73840	282.65
			16858		DRYDEXSPACKLING,STAIN,COAX C	
					01-26-025-73840	16.63
			16908		27 GALLON TOTE,DUCK GEN PURF	
					01-26-023-73410	184.48
			16911		29PC DRILLBIT SET,ANCHORLINE	
					60-00-000-73870	15.05
					63-00-000-73870	15.04
					64-00-000-73870	12.90
					01-26-025-73410	49.99
			16938		25'GRIPPER TAPE MEASURE	
					01-26-025-73410	8.75
			16954		MAILBOX REPLACEMENT	
					01-26-025-73870	49.08
			17057		MAP/PRO GAS,ICE RIPPER BRUSH	
					60-00-000-73410	84.30

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195749	2/4/2022	006074 MENARDS	(Continued)			
					63-00-000-73410	9.37
					64-00-000-73410	40.14
			17092		APPLIANCES FOR STATION 48	
				VTP-018946	01-19-000-72524	3,723.00
			17152		LOW PROFILE 3T FLOOR JACK	
					01-26-023-73870	199.99
			17153		AEROSOL DE-ICER W/SCRAPER,DI	
					01-26-024-72540	4.78
					01-26-023-72540	9.57
					60-00-000-72540	5.03
					63-00-000-72540	1.67
					64-00-000-72540	2.87
					64-00-000-73840	31.92
					Total :	4,747.21
195750	2/4/2022	005856 MONROE TRUCK EQUIPMENT,INC.	335127		BELLY PLOW FITTINGS AND PIPE F	
				VTP-018955	01-26-023-72540	879.24
					Total :	879.24
195751	2/4/2022	018254 MOORE, SHAMECO	013122		REFUND BUSINESS LICENSE - NO	
					01-14-000-79010	35.00
					Total :	35.00
195752	2/4/2022	005664 MORTON SALT INC	5402499482		ROAD SALT 1/28/22	
				VTP-018790	01-26-023-73810	11,179.17
				VTP-018790	70-00-000-73810	416.25
				VTP-018790	08-00-000-73810	297.31
					Total :	11,892.73
195753	2/4/2022	020254 MOVING SERVICES INC	4166		MOVING EQUIPMENT IN PD WEIGH-	
				VTP-018867	30-00-000-75003	1,600.00
					Total :	1,600.00
195754	2/4/2022	017651 MSC INDUSTRIAL SUPPLY CO.	5077271001		AEROSOL PAINTS,DRILL BIT,CABLE	
					01-26-024-72540	64.09
					01-26-023-72540	128.17

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195754	2/4/2022	017651 MSC INDUSTRIAL SUPPLY CO.	(Continued)		60-00-000-72540	67.29
					63-00-000-72540	22.43
					64-00-000-72540	38.45
			5161037001		SS FLAT WASHER,LOCK NUT,AND	
					01-26-023-73840	302.82
					Total :	623.25
195755	2/4/2022	015386 MUNICIPAL GIS PARTNERS, INC	6400		JAN'22 GIS STAFFING	
					01-16-000-72652	5,777.54
					60-00-000-72652	3,639.85
					63-00-000-72652	404.43
					64-00-000-72652	1,733.26
					Total :	11,555.08
195756	2/4/2022	010810 MUNICIPAL SERV. CONSULTING INC	TPCN-1-22		CONS SVC CIMP FOR VTP JAN'22	
					30-00-000-75812	17,892.95
					11-00-000-72750	3,495.55
					Total :	21,388.50
195757	2/4/2022	014443 MURPHY & MILLER, INC	SVC00036388		BOILER ALARM SERVICE	
					01-26-025-72520	474.00
			SVCC00036335		SVC FOR ICE MACHINE	
					01-26-025-72520	685.29
					Total :	1,159.29
195758	2/4/2022	018604 NAPA MONEE	188650		HI PWR II IND V-BELT	
					01-26-023-72540	82.98
					Total :	82.98
195759	2/4/2022	015723 NICOR	01981510009		ACCT#01981510009 METER 396896	
					01-26-025-72511	561.53
			06821610000		ACCT#06821610000 METER 276933	
					60-00-000-72511	222.23
					63-00-000-72511	222.23
					64-00-000-72511	190.49
			53463710003		ACCT#53463710003 METER291221	

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195759	2/4/2022	015723 NICOR	(Continued)			
			54072310003		01-26-025-72511 ACCT#54072310003 METER 435331	117.05
			73675410002		01-26-025-72511 ACCT#73675410002 METER 35613C	1,993.93
			74433410003		01-26-025-72511 ACCT#74433410003 METER 35754C	3,221.15
			83523710008		01-26-025-72511 ACCT#83523710008 METER 30262C	49.25
			96019958527		01-26-025-72511 ACCT#96019958527 METER 458266	3,212.79
					01-26-025-72511	359.76
					Total :	10,150.41
195760	2/4/2022	006178 NORMAN'S	63231		EMA UNIFORM DRY CLEANING 01-21-000-73610	109.93
			63232		EMA UNIFORM DRY CLEANING 01-21-000-73610	94.00
					Total :	203.93
195761	2/4/2022	006475 PARK ACE HARDWARE	067320/1		ACCT#9404 INV#067320/1 LIGHTED 01-19-000-73870	13.99
			067327/1		ACCT#891432 INV#067327/1 MAGN 64-00-000-73840	7.98
			067334/1		ACCT#9404 INV#067334/1 WINDSH 01-19-000-73870	7.18
			67306/1		ACCT#891432 INV#67306/1 DOOR S 60-00-000-72520	11.77
					63-00-000-72520	11.77
					64-00-000-72520	10.09
					Total :	62.78
195762	2/4/2022	017268 PETERSON JOHNSON & MURRAY	135678		4130.0003 LEGAL SVC RELATED TC 01-14-000-72857	9,073.00
			135679		4130.0029 LEGAL SVC REALTED TC 20-00-000-72850	6,960.00
			135680		4130.0031 LEGAL SVC TP EMINENT	

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195762	2/4/2022	017268 PETERSON JOHNSON & MURRAY	(Continued)			
			135681		27-00-000-72850	322.50
			135682		4130.0042 LEGAL SVC 7050 171ST : 01-14-000-72850	86.00
			135683		4130.0045 TINLEY FOIA COORDNAT 01-14-000-72850	5,159.00
			135684		4130.0046 LEGAL SVC 711 GEOL DI 01-14-000-72850	322.50
			135685		4130.0048 LEGAL SVC FOR LOYOL 01-14-000-72850	900.00
			135687		4131.0001 LEGAL SVC VTP GENER 01-14-000-72855	2,752.00
					4160.0001 LEGAL SVC VTP PROSEI 01-14-000-72858	9,543.00
					Total :	35,118.00
195763	2/4/2022	006780 POMP'S TIRE SERVICE, INC	690106382		(2) 12R22.5 FIURESTONE TIRES UN	
			690106519	VTP-018951	01-26-023-73560	1,051.23
					TIRE SERVICE	
					01-19-000-72570	356.20
					Total :	1,407.43
195764	2/4/2022	006507 POSTMASTER, U. S. POST OFFICE	013122		FEB'22 WATER BILLS	
					60-00-000-72110	1,987.59
					64-00-000-72110	851.82
					Total :	2,839.41
195765	2/4/2022	006361 RAY O' HERRON CO INC	2143784		WALLET BOOK STYLE SOFT	
			2151925		01-17-205-73610	292.01
					UNIFORM J.THOMPSON	
					01-17-220-73610	305.00
					Total :	597.01
195766	2/4/2022	017584 RELADYNE	1381454-IN		55 GALLONS DEXCOOL (ALL MAKE	
				VTP-018953	01-26-023-73535	134.91
				VTP-018953	01-17-205-73535	67.46
				VTP-018953	01-19-000-73535	67.46

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195766	2/4/2022	017584 RELADYNE	(Continued)			
				VTP-018953	60-00-000-73535	35.41
				VTP-018953	63-00-000-73535	11.80
				VTP-018953	64-00-000-73535	20.24
			1383734-IN		5W-20 BULK OIL	
				VTP-018954	01-12-000-72540	50.00
				VTP-018954	01-33-300-72540	100.00
				VTP-018954	01-17-205-73535	480.00
				VTP-018954	01-21-000-73535	50.00
				VTP-018954	01-26-024-73535	78.00
				VTP-018954	01-26-023-73535	95.60
				VTP-018954	01-19-020-73535	100.00
				VTP-018954	60-00-000-73535	52.50
				VTP-018954	63-00-000-73535	17.50
				VTP-018954	64-00-000-73535	30.00
					Total :	1,390.88
195767	2/4/2022	020348 RHEIN, JOSEPH	012722		UNIFORM REIMBURSEMENT	
					01-19-000-73610	119.63
					Total :	119.63
195768	2/4/2022	020190 ROBE INC	#2		REPLACEMENT OF AIR HANDLER/C	
				VTP-018658	30-00-000-75004	172,489.60
					Total :	172,489.60
195769	2/4/2022	006874 ROBINSON ENGINEERING CO. LTD.	22010198		20-R0382 TP MIDLOTHIAN CREEK S	
					65-00-000-75310	401.50
			22010199		21-R0395 TP FRA QUIET ZONE UPE	
					01-26-023-72840	188.00
			22010200		21-R0545 TP KIMBERLY HEIGHTS C	
					65-00-000-75310	12,000.00
			22010201		21-R0945 TP RIVERWALK IMPROVE	
					18-00-000-72840	9,855.00
			22010227		11-320 TP THE BLVD AT CENTRAL S	
					27-00-000-72840	633.00
					Total :	23,077.50

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195770	2/4/2022	016334 RUSH TRUCK CENTERS	3026361588		BRACKET KIT LOWER 01-26-023-72530	238.55
Total :						238.55
195771	2/4/2022	007629 SAM'S CLUB DIRECT	012822		KLEENEX 01-14-000-73110 01-26-023-73110 01-26-024-73110 60-00-000-73110 63-00-000-73110 64-00-000-73110	27.96 5.86 2.93 3.69 0.41 1.77
			012822.		WATER,PAPER,PAPER PLATES,BO 01-21-210-73110 01-21-000-72220 01-21-000-73110	176.20 7.16 29.98
			013122		HEATER , SODA FOR VENDING 01-14-000-73115 60-00-000-73870 63-00-000-73870 64-00-000-73870	25.30 38.83 38.83 33.28
Total :						392.20
195772	2/4/2022	018104 SBA STEEL,LLC	IN14061644		TOWER SITE RENT #IL46494-A-03 F 60-00-000-72631 63-00-000-72631 64-00-000-72631 01-17-205-72631 01-19-000-72631	201.02 201.02 201.02 402.03 335.01
Total :						1,340.10
195773	2/4/2022	016115 SHARP MILL GRAPHICS, INC.	1631		HOLIDAY BANNER 01-35-000-72954	200.00
			1633		IRISH PARADE BANNERS 01-35-000-72923	265.00
Total :						465.00
195774	2/4/2022	012238 STAPLES BUSINESS ADVANTAGE	3498048865		SHARPIE,HIGHLIGHTER,PENS,LAB	

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195774	2/4/2022	012238 STAPLES BUSINESS ADVANTAGE	(Continued)		01-14-000-73110	92.57
			3498048866		DVD,DATE STAMP,HOT SPLS MENL	
					01-17-205-73110	68.35
					Total :	160.92
195775	2/4/2022	020390 STUART, MARY	Ref001417085		UB Cst #00506379 Rfnd dupl pmt	
					60-00-000-20599	74.47
					Total :	74.47
195776	2/4/2022	007205 SUBURBAN LABORATORIES INC.	199442		DISINFECTANT BY PRODUCTS	
					60-00-000-72865	1,087.80
					64-00-000-72865	466.20
					Total :	1,554.00
195777	2/4/2022	007297 SUTTON FORD INC./FLEET SALES	545630		DOOR ASY - VM VEHICLE	
					01-12-000-72540	190.43
					Total :	190.43
195778	2/4/2022	017520 THE COP FIRE SHOP	206628		NAVY POLO UNIFORM FOR CITIZEN	
					01-17-215-73600	103.00
					Total :	103.00
195779	2/4/2022	007777 THOMPSON ELEVATOR INSPECTION	22-0233		1 FULL MOD PERMIT INSPECTION /	
					01-33-300-72853	300.00
					Total :	300.00
195780	2/4/2022	019712 TM TIRE CO INC	138704	VTP-018947	(4) P245/60R18 FIRESTONE TIRES I	
					01-12-000-72540	577.84
					Total :	577.84
195781	2/4/2022	008040 UNDERGROUND PIPE & VALVE CO	053197	VTP-018942	MAIN BREAK ENCASEMENT CLAMP	
				VTP-018942	60-00-000-73630	904.05
				VTP-018942	63-00-000-73630	100.45
				VTP-018942	64-00-000-73630	430.50
					Total :	1,435.00
195782	2/4/2022	011416 VERIZON WIRELESS	9897898367		ACCT#442345192-00001 WATER RE	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195782	2/4/2022	011416 VERIZON WIRELESS	(Continued)		60-00-000-72127	31.94
					63-00-000-72127	31.94
					64-00-000-72127	27.37
					Total :	91.25
195783	2/4/2022	010165 WAREHOUSE DIRECT WORKPL SOLTNS	5154213-0		WALL CALENDAR	
					01-26-024-73110	8.65
					01-26-023-73110	17.29
					60-00-000-73110	10.89
					63-00-000-73110	1.21
					64-00-000-73110	5.19
			5155327-0		SOUP SPOON,POST ITS	
					01-21-210-73110	59.24
			5157467-0		TONER,EXPO MARKER,CALCULATC	
					01-26-023-73110	48.44
					01-26-024-73110	24.22
					60-00-000-73110	30.52
					63-00-000-73110	3.39
					64-00-000-73110	14.53
					Total :	223.57
195784	2/4/2022	011055 WARREN OIL CO.	W1449766		N.L. GAS USED 1/12-1/24/22	
					01-19-000-73545	790.52
					60-00-000-73545	187.70
					63-00-000-73545	46.92
					64-00-000-73545	100.55
					01-26-023-73545	5,653.16
					01-26-024-73545	98.85
					01-14-000-73531	1,931.35
					Total :	8,809.05
195785	2/4/2022	008342 WHOLESAL DIRECT, INC.	000253021.		FREIGHT CHARGES	
					01-26-023-72540	17.71
			000253124.		FREIGHT CHARGES	
					01-26-023-72540	12.24
			000255316		LED HIGHLIGHTER	

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>	
195785	2/4/2022	008342	WHOLESALE DIRECT, INC.	(Continued)			
			000255329		01-26-023-72530	301.37	
					WINTER BLADE 22"		
					01-26-023-72540	144.35	
					01-26-024-72540	72.17	
					60-00-000-72540	75.78	
					63-00-000-72540	25.26	
					64-00-000-72540	43.31	
					Total :	692.19	
195786	2/4/2022	008221	WILLE BROTHERS COMPANY	374063.	YD4000 PSI AE REDY MIX, CARTAG		
					60-00-000-73770	64.75	
					63-00-000-73770	7.19	
					64-00-000-73770	30.83	
					Total :	102.77	
89 Vouchers for bank code : apbank						Bank total :	499,598.12

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3788	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	370.29 Total : 370.29
3789	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-1	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	319.31 Total : 319.31
3790	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-2	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	338.26 Total : 338.26
3791	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-3	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	381.93 Total : 381.93
3792	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-4	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	379.48 Total : 379.48
3793	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-5	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	386.79 Total : 386.79
3794	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-6	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	289.41 Total : 289.41
3795	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-7	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	199.34 Total : 199.34
3796	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-8	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	1,335.50 Total : 1,335.50
3797	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002-9	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	126.16

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3797	2/3/2022	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)			Total : 126.16
3798	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 200803W006		PAYEE-ENCOMPASS SPECIALTY NI 01-14-000-72542	139.19
						Total : 139.19
3799	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-1		PAYEE-ENCOMPASS SPECIALTY NI 01-14-000-72542	139.19
						Total : 139.19
3800	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 200505W003		PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	451.50
						Total : 451.50
3801	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 200505W003-1		PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	215.00
						Total : 215.00
3802	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 210902W013		PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	688.00
						Total : 688.00
3803	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 210902W013-1		PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	946.00
						Total : 946.00
3804	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 190514W019		PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	3,504.50
						Total : 3,504.50
3805	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 200211W025		PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	2,042.50
						Total : 2,042.50
3806	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR 200211W025-1		PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	2,902.50
						Total : 2,902.50

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3807	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	200219W023	PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	910.50	
					Total :	910.50	
3808	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	211022W021	PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	150.50	
					Total :	150.50	
3809	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	211022W021-1	PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	1,247.50	
					Total :	1,247.50	
3810	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	201119W024	PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	2,096.66	
					Total :	2,096.66	
3811	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002	PAYEE-VILLAGE OF TINLEY PARK 60-00-000-72542 63-00-000-72542 64-00-000-72542	961.09 183.06 490.35	
					Total :	1,634.50	
3812	2/3/2022	018837	INSURANCE PROGRAM MANAGERS GR	2104 2008	PAYEE-IPMG 01-14-000-72542	21.11	
					Total :	21.11	
25 Vouchers for bank code : ipmq						Bank total :	21,215.62
185 Vouchers in this report						Total vouchers :	540,880.21

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

_____ Village President

_____ Village Clerk

_____ Date

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195789	2/9/2022	017325 INDEPENDENT ESCROW SERVICES	020722		EARNEST MONEY 7551 191ST ST 33-00-000-75906	10,000.00
Total :						10,000.00
195790	2/11/2022	002734 AIR ONE EQUIPMENT, INC	177142		CAIRNS 6" FRONT F51 01-19-000-74619	682.00
			177391		FCPC ASSY,REPLACEMENT KIT ,B/ 01-19-000-72578	7,090.52
					01-19-000-74614	134.48
			177475		CAIRNS 6"FRONT F51 01-19-000-74619	154.00
			177582		CAIRNS 6"PASSPORT FRONT FRAM 01-19-000-74619	380.00
Total :						8,441.00
195791	2/11/2022	002856 AIRY'S, INC	25902		WATER MAIN BREAK 16600 OPA 60-00-000-72745	1,454.69
					63-00-000-72745	1,454.69
					64-00-000-72745	1,246.87
			25930		WATER MAIN BREAK 164TH & TAN 60-00-000-72745	1,417.01
					63-00-000-72745	1,417.01
					64-00-000-72745	1,214.58
			25946		WATER MAIN BREAK 7907 W 159TH 60-00-000-72745	3,296.26
					63-00-000-72745	3,296.26
					64-00-000-72745	2,825.37
			25954		WATER MAIN BREAK 9049 MAGNOI 60-00-000-72745	1,131.33
					63-00-000-72745	1,131.33
					64-00-000-72745	969.71
Total :						20,855.11
195792	2/11/2022	014852 ALLDATA LLC	101551246		SUBSCRIPTION RENEWAL 4/8/22-4 01-26-023-72655	1,500.00

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195792	2/11/2022	014852	014852 ALLDATA LLC		(Continued)	Total : 1,500.00
195793	2/11/2022	002570	AMERICAN SALES	288024	MINI RED AND GREEN WIRE 01-26-023-73870	139.60 Total : 139.60
195794	2/11/2022	002628	AMERICAN WATER	4000229837	FEB'22 FLAT MONTHLY FEE 64-00-000-73225	455.67 Total : 455.67
195795	2/11/2022	002665	APPLE CHEVROLET	354071	CLAMP FIRE DPT #1502 01-19-000-72540	26.17 Total : 26.17
195796	2/11/2022	003166	B & J TOWING AND AUTO REPAIR	19785	SAFETY INSPECTIONS 01-26-023-72266	183.00 Total : 183.00
195797	2/11/2022	020280	BETTENHAUSEN & ASSOCIATES LLC	011522	FINANCIAL AND ADMIN PROF SVC 01-15-000-72790 16-00-000-72790 17-00-000-72790 18-00-000-72790 19-00-000-72790 20-00-000-72790 27-00-000-72790 28-00-000-72790 60-00-000-72790 64-00-000-72790	4,440.00 165.00 330.00 165.00 165.00 630.00 315.00 315.00 315.00 300.00
			01302022		FINANCIAL AND ADMIN PROF SVC ' 01-15-000-72790 27-00-000-72790	7,687.50 300.00
			013022		FINANCIAL AND ADMIN PROF SVC ' 01-15-000-72790 27-00-000-72790 28-00-000-72790 60-00-000-72790	5,287.50 300.00 150.00 150.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195797	2/11/2022	020280 BETTENHAUSEN & ASSOCIATES LLC	(Continued)			
			020622		64-00-000-72790	150.00
					FINANCIAL AND ADMIN PROF SVC '	
					01-15-000-72790	4,922.50
					20-00-000-72790	1,500.00
					27-00-000-72790	750.00
					28-00-000-72790	300.00
					60-00-000-72790	150.00
					64-00-000-72790	150.00
					Total :	28,937.50
195798	2/11/2022	002974 BETTENHAUSEN CONSTRUCTION SERV	220010		REMOVAL OF SPOILS,ETC FROM R	
					01-26-023-72890	225.00
					60-00-000-73681	330.75
					63-00-000-73681	36.75
					64-00-000-73681	157.50
			220011		TRUCK TIME FOR LIMESTONE ETC	
					01-26-023-73860	225.00
					70-00-000-73860	75.00
					60-00-000-73860	283.50
					63-00-000-73860	31.50
					64-00-000-73860	135.00
			220012		SEMI TRUCK TIME FOR HAULING S	
					01-26-023-73860	45.00
					70-00-000-73860	15.00
					60-00-000-73860	56.70
					63-00-000-73860	6.30
					64-00-000-73860	27.00
					Total :	1,650.00
195799	2/11/2022	016817 BEVERLY SNOW AND ICE INC	53430		MUNICIPAL PARKING LOT SNOW R	
				VTP-018789	01-26-023-72785	27,645.00
				VTP-018789	70-00-000-72740	7,800.00
				VTP-018789	01-26-023-72785	1,080.00
				VTP-018789	70-00-000-72740	10,470.00
			53431		MUNICIPAL PARKING LOT SNOW R	
				VTP-018789	01-26-023-72785	7,890.00

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195799	2/11/2022	016817 BEVERLY SNOW AND ICE INC	(Continued)			
			53432	VTP-018789	70-00-000-72740 MUNICIPAL PARKING LOT SNOW R	3,580.00
				VTP-018789	01-26-023-72785	23,670.00
			53433	VTP-018789	70-00-000-72740 MUNICIPAL PARKING LOT SNOW R	10,740.00
				VTP-018789	01-26-023-72785	13,895.00
				VTP-018789	70-00-000-72740	7,880.00
					Total :	114,650.00
195800	2/11/2022	018860 BIG STATE INDUSTRIAL SUPPLYINC	1468764		GLOVES	
					60-00-000-73845	255.53
					63-00-000-73845	28.39
			1468765		64-00-000-73845	121.68
					GLOVES	
					60-00-000-73845	255.53
					63-00-000-73845	28.39
					64-00-000-73845	121.68
					Total :	811.20
195801	2/11/2022	015129 BMI BROADCAST MUSIC INC.	41972698		ACCT#2166348 MUSIC-SPECIAL EV	
					01-35-000-72720	779.00
					Total :	779.00
195802	2/11/2022	003304 CARLIN-MORAN LANDSCAPE INC	3964		LANDSCAPE 17424 94TH CT	
					01-33-300-72744	300.00
					Total :	300.00
195803	2/11/2022	019418 CARLSON BROTHERS INC	1000		BLVD AT CENTRAL STATION LANSC	
					27-00-000-75200	14,173.50
					Total :	14,173.50
195804	2/11/2022	003396 CASE LOTS INC	9678		JANITORIAL SUPPLIES	
				VTP-018957	01-26-025-73580	1,785.15
					Total :	1,785.15
195805	2/11/2022	018060 CELTIC COMMERCIAL PAINTING,LLC	9680		PD WEIGHT ROOM PAINTING	

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195805	2/11/2022	018060	CELTIC COMMERCIAL PAINTING,LLC	(Continued)		
				VTP-018865	30-00-000-75003	1,120.00
					30-00-000-75003	285.00
					Total :	1,405.00
195806	2/11/2022	003373	CENTRAL PARTS WAREHOUSE	669305A	WESTERN SHOE ASSY AND SNOW	
					01-26-023-72540	254.42
					Total :	254.42
195807	2/11/2022	015199	CHICAGO PARTS & SOUND LLC	2J0003448	REPAIR DRIVER SIDE PANEL PD UI	
					01-17-205-72540	185.00
					Total :	185.00
195808	2/11/2022	017349	CHICAGO STREET CCDD, LLC	21757	DUMP FEE 1/27/22	
					01-26-023-72890	280.00
					Total :	280.00
195809	2/11/2022	003137	CHRISTOPHER B.BURKE ENGINEERNG	172470	01.R160373.00008 POST 5 LIFT STA	
				172471	61-00-000-72840	5,649.00
				172472	01.R160373.00002 INTERIM VILLAC	
					64-00-000-72840	2,163.50
					01.R160373.00024 WATER MODEL I	
					60-00-000-75813	656.60
					63-00-000-75813	656.60
					64-00-000-75813	562.80
					Total :	9,688.50
195810	2/11/2022	013820	CINTAS CORPORATION	4107585151	MATS - VH	
				4108508321	01-26-025-72790	210.33
				4109881029	MATS -PW	
					01-26-025-72790	230.64
					MATS - PW GARAGE	
					01-26-025-72790	230.64
					Total :	671.61
195811	2/11/2022	013878	COMED - COMMONWEALTH EDISON	0519019106	ACCT#0519019106 6750 SOUTH ST	
					12-00-000-72510	10.28

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195811	2/11/2022	013878	COMED - COMMONWEALTH EDISON			
			(Continued)			
			2587063010		ACCT#2587063010 17311 OAK PARI 12-00-000-72510	19.34
			3214011009		ACCT#3214011009 16853 LAKEWO 64-00-000-72510	292.72
			4329016037		ACCT#4329016037 17238 OPA 12/2 12-00-000-72510	23.77
			7090006006		ACCT#7090006006 17231 OPA 12/2 12-00-000-72510	19.34
			8363023007		ACCT#8363023007 179TH & 82ND A 60-00-000-72510	191.01
					63-00-000-72510	191.00
					Total :	747.46
195812	2/11/2022	018311	CONNECTION			
			72350239		HEADSET PARTS - SPARE EARLOC 01-21-210-73110	11.60
			72367581		HP 72 INK 01-26-024-73110	82.57
					01-26-023-73110	165.17
					60-00-000-73110	104.06
					63-00-000-73110	11.56
					64-00-000-73110	49.55
					Total :	424.51
195813	2/11/2022	012410	CONSERV FS, INC.			
			66047233		SHOVELS FOR TRUCK#30 01-26-024-73870	127.84
					Total :	127.84
195814	2/11/2022	003644	COOK COUNTY SHERIFF'S POLICE			
			TP22-1-1		RECRUIT TUITION FEE J.LEONE 01-17-220-72140	3,250.00
					Total :	3,250.00
195815	2/11/2022	018234	CORE & MAIN LP			
			P642227		HYMAX 2 FLIP CPLG AND WESTER 60-00-000-73630	518.48
					63-00-000-73630	57.61
					64-00-000-73630	246.89
			Q301850		SCREW VB RISER,VLV BOX RISER,	

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195815	2/11/2022	018234 CORE & MAIN LP	(Continued)		60-00-000-73630 63-00-000-73630 64-00-000-73630	182.07 20.23 86.70 Total : 1,111.98
195816	2/11/2022	003635 CROSSMARK PRINTING, INC	85571		BUSINESS CARDS D.ALBA 01-17-205-72310	36.95 Total : 36.95
195817	2/11/2022	017603 DANDAN, RICK TARIQ	013122		JAN'22 SERVICES INVOICE - PLAN 01-33-300-72790	5,770.00 Total : 5,770.00
195818	2/11/2022	018213 DESERT SNOW	1531		2022 NTL INTERDICTION CONF 01-17-220-72140	350.00 Total : 350.00
195819	2/11/2022	018379 DM INDUSTRIAL JANITORIAL SERV	6817	VTP-018578	POLICE STATION JANITORIAL SERV 01-26-025-72790	3,720.00 Total : 3,720.00
195820	2/11/2022	004009 EAGLE UNIFORM CO INC	INV-5896	VTP-018597	BLANKET PO FOR CLASS B UNIFORMS 01-19-000-73610	160.00 Total : 160.00
195821	2/11/2022	004152 ECOLAB PEST ELIMINATION INC.	2604128		INTERIOR INSECT VH SERVICE 01-26-025-72790	200.00 Total : 200.00
195822	2/11/2022	020396 EICHHORN, MATTHIAS	020322		REIMBURSEMENT FOR MAILBOX D 01-26-023-73840	32.52 Total : 32.52
195823	2/11/2022	019561 ENDLESS COMMUNICATIONS USA LLC	DG-1422		PUSH TO TALK LTE DATA RADIO SV 01-42-000-72540	45.76 Total : 45.76

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195824	2/11/2022	018441 ESO SOLUTIONS, INC	ESO-69788		ANNUAL FIREHOUSE WEB EDITION 01-19-020-72655 01-19-000-72655	4,426.59 4,426.58 Total : 8,853.17
195825	2/11/2022	004019 EVON'S TROPHIES & AWARDS	012122 060420		DOOR PLATES 01-26-025-72520 POLO FOR EEC 01-41-044-73870	120.46 26.98 Total : 147.44
195826	2/11/2022	020399 FALSEY, DR KATHLEEN	Ref001417474		UB Refund Cst #00452548 60-00-000-20599	5.11 Total : 5.11
195827	2/11/2022	004176 FEDEX (FEDERAL EXPRESS)	7-648-91056		ACCT#628785953 SHIPPING COSTS 01-33-000-72110	61.76 Total : 61.76
195828	2/11/2022	012941 FMP	50-3702011		CONTOUR OE BLADES - ESCAPES 01-19-020-72540	56.84 Total : 56.84
195829	2/11/2022	004535 GALLS LLC	020318422		REFLECTIVE APPAREL 01-21-000-73610	62.40 Total : 62.40
195830	2/11/2022	004493 GORDON FOOD SERVICE INC.	768185730		CREAMER 01-26-023-73115 60-00-000-73115 63-00-000-73115 64-00-000-73115 01-26-024-73115	8.59 3.01 3.01 2.57 4.30 Total : 21.48
195831	2/11/2022	004443 GRADY, TERRENCE J.	020222		MAILBOX REIMBURSEMENT 01-26-023-73840	124.64

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195831	2/11/2022	004443 004443 GRADY, TERRENCE J.	(Continued)			Total : 124.64
195832	2/11/2022	004438 GRAINGER	9187411591	VTP-018962	TWO WEATHERGUARD TOOL BOXI	1,167.88
			9193964310		60-00-000-74232 CONTAINER DOLLY	29.52
			9199923344		01-26-025-73580 PLASTIC FUNNEL	3.96
					01-26-024-73110	7.92
					01-26-023-73110	4.99
					60-00-000-73110	0.55
					63-00-000-73110	2.38
					64-00-000-73110	Total : 1,217.20
195833	2/11/2022	014491 HANSEN DOOR INC.	10780		PW SVC BROKEN RIGHT CABLE : C	799.50
					01-26-025-72520	Total : 799.50
195834	2/11/2022	019792 HANSON AGGREGATES MIDWEST INC	41081037		BACKFILL	346.34
					01-26-023-73860	115.45
					70-00-000-73860	436.39
					60-00-000-73860	48.49
					63-00-000-73860	207.79
					64-00-000-73860	Total : 1,154.46
195835	2/11/2022	004741 HEARTS & FLOWERS	021022		SYMPATHY FLOWERS	70.00
					01-14-000-73870	Total : 70.00
195836	2/11/2022	004746 HEATHER'S HAUS FLORIST	360717		SYMPATHY PLANT	70.00
					01-14-000-73870	Total : 70.00
195837	2/11/2022	018696 HENRY'S HOUSE OF DECORATED	952		UNIFORMS	1,130.00
				VTP-018930	01-26-023-73610	168.00
				VTP-018930	01-26-024-73610	372.00
				VTP-018930	01-26-025-73610	

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195837	2/11/2022	018696 HENRY'S HOUSE OF DECORATED	(Continued)			
				VTP-018930	60-00-000-73610	432.18
				VTP-018930	63-00-000-73610	82.32
				VTP-018930	64-00-000-73610	220.50
					Total :	2,405.00
195838	2/11/2022	005123 ILLINOIS FIRE INSPECTORS ASSOC	22682		FLSE CONFERENCE 3/23-3/25/22 S	
					01-19-020-72140	325.00
					14-00-000-72140	325.00
					Total :	650.00
195839	2/11/2022	004985 ILLINOIS STATE TOLL HWY AUTH	G121000004603		ACCT#8793 TOLL FEES 10/1-12/31/	
					01-12-000-72130	18.50
					01-33-000-72130	8.00
					01-26-023-72170	71.30
					01-26-024-72170	29.05
					60-00-000-72170	8.00
					84-00-000-20199	18.70
					Total :	153.55
195840	2/11/2022	005127 INGALLS OCCUPATIONAL MEDICINE	300410		DEC'21 EMPLOYEE SCREENING	
					01-41-040-72846	994.00
					Total :	994.00
195841	2/11/2022	005186 INTERSTATE BATTERY SYSTEM	10074651		BATTERY PD -2D	
			311890		01-17-205-72540	101.15
					CORE CREDIT	
					01-26-023-72540	-40.00
					Total :	61.15
195842	2/11/2022	005212 J S R ENTERPRISES INC	25426		SVC CALL FOR CLOUDY WATER	
					01-26-025-72530	365.00
					Total :	365.00
195843	2/11/2022	020395 JBS TRAINING GROUP LLC	0107		PERFORMANCE TRAINING PISTOL	
			0108		01-17-220-72140	500.00
					PERFORMANCE PISTOL TRAINING	

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195843	2/11/2022	020395 JBS TRAINING GROUP LLC	(Continued)		01-17-220-72140	500.00
					Total :	1,000.00
195844	2/11/2022	019785 JIMSON DISTRIBUTING	172310		PD STOCK POWER STEERING FLU 01-17-205-72540	168.86
					Total :	168.86
195845	2/11/2022	006948 JOE RIZZA FORD OF ORLAND PARK	432477		MOTOR ASY WATER #1 60-00-000-72540 63-00-000-72540 64-00-000-72540	13.91 4.64 7.95
					Total :	26.50
195846	2/11/2022	019217 LEGAL AND LIABILITY RISK	222042		HOSTAGE NEGOTIATIONS TRAININ 01-17-220-72140	1,050.00
					Total :	1,050.00
195847	2/11/2022	006559 LINDE GAS & EQUIPMENT INC	68737454		OXYGEN AND ACETYLENE 1/20/22- 60-00-000-73730 63-00-000-73730 64-00-000-73730	82.99 83.00 71.14
					Total :	237.13
195848	2/11/2022	003440 M. COOPER WINSUPPLY CO.	07982201		SLOAN HANDLE REPAIR KIT 01-26-025-72520	27.88
					Total :	27.88
195849	2/11/2022	007100 M. E.SIMPSON COMPANY, INC	38027		LEAK SVC 17538 MULBERRY AVE 60-00-000-72513 63-00-000-72513 64-00-000-72513	144.38 48.13 82.49
			38050		LEAK SERVICES CLARK LN& 163RI 60-00-000-72745 63-00-000-72745 64-00-000-72745	192.50 192.50 165.00
			38067		LEAK LOCATION SVC 8918 WOODE	

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195849	2/11/2022	007100 M. E.SIMPSON COMPANY, INC	(Continued)		60-00-000-72513	144.38
					63-00-000-72513	48.13
					64-00-000-72513	82.49
					Total :	1,100.00
195850	2/11/2022	018877 MAINTSTAR INC	2882		ANNUAL SOFTWARE HOSTING FEE	
					01-33-300-72655	36,750.00
					Total :	36,750.00
195851	2/11/2022	013969 MAP AUTOMOTIVE OF CHICAGO	40-651703		BATTERY PD 12B	
					01-17-205-72540	118.50
			40-651704		BATTERY PD UNIT 8A,22A	
					01-17-205-72540	237.00
					Total :	355.50
195852	2/11/2022	020322 MASTER AUTO SUPPLY	15030-113459		HUB BEARING PD STOCK AND VM:	
					01-17-205-72540	334.38
			15030-113719		RADIATOR CAP	
					01-26-023-72540	16.18
			15030-113788		WHEEL BOLT AND NUT STREET #3:	
					01-26-023-72540	126.64
			15030-113799		SHEEL BOLT,NUT,DISC CALIPER PI	
					01-26-023-72540	186.08
					Total :	663.28
195853	2/11/2022	006074 MENARDS	16778		AAA AND AA BATTERIES	
					01-19-000-73870	43.96
			17191		3/4 " FLX 90 DEC CNNCTR,SLATER	
					01-35-000-73870	8.24
			17239		JAB SAW	
					01-26-025-73410	7.97
			17245		PVC COMP COUPLING,COMPRESS	
					60-00-000-73630	22.14
					63-00-000-73630	2.46
					64-00-000-73630	10.54
			17290		BOOT DRYER	

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195853	2/11/2022	006074 MENARDS	(Continued)		01-26-023-73410	29.99
					Total :	125.30
195854	2/11/2022	005856 MONROE TRUCK EQUIPMENT,INC.	336498		FA-TXV92 HYDRAULIC PUMP UNIT	
				VTP-018961	01-26-023-72540	2,578.74
				VTP-018961	01-26-023-72530	136.44
					Total :	2,715.18
195855	2/11/2022	005664 MORTON SALT INC	5402501395		ROAD SALT 1/31/21	
				VTP-018790	01-26-023-73810	7,370.49
				VTP-018790	70-00-000-73810	274.43
				VTP-018790	08-00-000-73810	196.03
			5402503388		ROAD SALT 2/1/22	
				VTP-018790	01-26-023-73810	6,984.40
				VTP-018790	70-00-000-73810	260.06
				VTP-018790	08-00-000-73810	185.75
			5402508956		ROAD SALT 2/4/22	
				VTP-018790	01-26-023-73810	12,156.91
				VTP-018790	70-00-000-73810	452.65
				VTP-018790	08-00-000-73810	323.32
					Total :	28,204.04
195856	2/11/2022	017651 MSC INDUSTRIAL SUPPLY CO.	5181587001		PARKRIMP PARTS,ORANGE CLEAN	
					01-26-023-72540	485.93
					Total :	485.93
195857	2/11/2022	005774 MUNICIPAL CLERK'S ASSOC OF	020722		ASSOCIATION DUES FOR CLERK A	
					01-13-000-72720	30.00
					Total :	30.00
195858	2/11/2022	014443 MURPHY & MILLER, INC	MC00011178		HVAC SERVICE CONTRACT 4TH Q1	
				VTP-018462	01-26-025-72790	4,196.61
			SVC00036478		SVC FOR TP TOWER	
					01-26-025-72520	3,041.00
					Total :	7,237.61

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195859	2/11/2022	015723 NICOR	09977410001		ACCT#09977410001 METER 514688 01-26-025-72511	1,114.58
			12213610004		ACCT#12213610004 METER503139 01-26-025-72511	1,089.36
					Total :	2,203.94
195860	2/11/2022	006178 NORMAN'S	61278		BUNTING CLEANING 01-19-000-73870	96.00
					Total :	96.00
195861	2/11/2022	006216 NORTH EAST MULTI-REG TRAINING	297744		CHAPTER 720: IL CRIMINAL CODE I 01-17-220-72140	1,440.00
					Total :	1,440.00
195862	2/11/2022	006388 O'HERN, MICHAEL E.	2022-01		CRASH INVESTIGATION ASSISTANC 01-17-205-72750	407.21
					Total :	407.21
195863	2/11/2022	014682 PITNEY BOWES	3105302643		ACCT#0010611388 1/30-4/29/22 01-17-205-72750	540.87
					Total :	540.87
195864	2/11/2022	020299 POINT B COMMUNICATIONS INC	INV-17750		2ND INSTALL CAMPAIGN DEVELOP 01-35-100-72790	14,648.00
					Total :	14,648.00
195865	2/11/2022	017367 POLICE CHIEFS OF WILL COUNTY	020722		2022 ANNUAL MEMBERSHIP FEES 01-17-205-72720	1,000.00
					Total :	1,000.00
195866	2/11/2022	014857 POLICE LAW INSTITUTE	22031		OSHA LESSONS FOR BLOODBORN 01-17-220-72140	1,260.00
					Total :	1,260.00
195867	2/11/2022	019583 PRECISE MRM LLC	200-1035250		5MB FLAT DATA PLAN US WITH NAI 01-26-023-72655	189.00
					Total :	189.00

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195868	2/11/2022	016334 RUSH TRUCK CENTERS	3026479872		BRACKET KIT LOWER HOLDER -ST 01-26-023-72540	95.42
Total :						95.42
195869	2/11/2022	007629 SAM'S CLUB DIRECT	020322		COFFEE,WATER,CREAMER,SUGAF 01-26-025-73580	19.84
					01-26-024-73115	29.25
					01-26-024-73870	7.19
					01-26-023-73115	58.50
					01-26-023-73870	14.38
					60-00-000-73115	20.48
					63-00-000-73115	20.48
					64-00-000-73115	17.54
					60-00-000-73870	5.03
					63-00-000-73870	5.03
					64-00-000-73870	4.30
			020722		COFFEE,ZIPLOCK,FORKS,PLATES, 01-14-000-73115	80.38
					60-00-000-73115	12.62
					63-00-000-73115	12.62
					64-00-000-73115	10.80
					01-26-023-73115	36.04
					01-26-024-73115	18.02
					01-14-000-73115	62.06
			020822		WATER 01-14-000-73115	20.96
Total :						455.52
195870	2/11/2022	020400 SCHADDELEE, JOHN R	Ref001417475		UB Refund Cst #00468467 60-00-000-20599	89.67
Total :						89.67
195871	2/11/2022	007453 SERVICE SANITATION, INC.	8330755		RESTROOMS FOR FIREMAN TRAIN 01-19-000-72750	189.76
Total :						189.76
195872	2/11/2022	015405 SSACOP	020822		SSACOP DUES T.TILTON	

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Voucher List
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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195872	2/11/2022	015405 SSACOP	(Continued)		01-17-205-72720	50.00
					Total :	50.00
195873	2/11/2022	012238 STAPLES BUSINESS ADVANTAGE	3491428015		ITEM HOD155HD NO SHIP RETURN	-50.97
			3491428017		01-14-000-73110 HANGING FOLDERS, DRY ERASE P,	31.27
			3491428019		01-14-000-73110 SIGN HOLDER, BINDER, LEGAL PAD	150.41
			3491428022		01-17-205-73110 LETTER FOLDER, PENS, HANGING	86.86
			3493732472		01-17-205-73110 AVY LSR LBL RETURN	-54.16
			3497100025		01-14-000-73110 CALENDAR REFILL, STAPLER, STAP	61.63
			3497100026		01-15-000-73110 TONER CARTRIDGE, INK PAD DATE	192.38
			3498773650		01-17-205-73110 BINDER, CLEAR TABS	59.39
			3498773651		01-17-205-73110 FILE PCKT ENDTAB LEGAL	90.99
			3498810436		01-17-205-73110 INTEROFFICE ENVELOPES	36.98
			3499566552		01-14-000-73110 INTEROFFICE ENVELOPES	17.36
					01-26-023-73110	8.68
					01-26-024-73110	10.94
					60-00-000-73110	1.22
					63-00-000-73110	5.20
					64-00-000-73110	
					Total :	648.18
195874	2/11/2022	007658 STATE TREASURER	61678		TRAFFIC SIGNAL MAINT HARLEM/1	2,163.63
					01-26-024-72775	
					Total :	2,163.63
195875	2/11/2022	015452 STEINER ELECTRIC COMPANY	S007071812.001		DRILL / TAP	

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195875	2/11/2022	015452 STEINER ELECTRIC COMPANY	(Continued)			
			S007072521.001		01-26-024-73410 FLUORESCENT BALLAST	12.96
					01-26-025-72520	41.84
					Total :	54.80
195876	2/11/2022	015994 STERNBERG LIGHTING, INC.	61638			
				VTP-018824	STREET LIGHT GLOBES 01-26-024-73570	600.00
					Total :	600.00
195877	2/11/2022	007297 SUTTON FORD INC./FLEET SALES	545635			
			545799		BUCKLE ASY SEEAT BELT PD 1-S 01-17-205-72540	61.94
			545852		WIPER BLADES - BUILDING DPT ES 01-33-300-72540	50.88
					BOOT FOR PD 1B 01-17-205-72540	41.44
					Total :	154.26
195878	2/11/2022	018607 TELCOM INNOVATIONS GROUP, LLC	A58191			
					LABOR CHARGE FOR BILLABLE RE 01-26-025-72777	72.50
					Total :	72.50
195879	2/11/2022	007777 THOMPSON ELEVATOR INSPECTION	22-0290			
			22-0385		3 ELEVATOR CODE RE-INSPECTIO 01-33-300-72853	114.00
					4 FULL MOD PERMIT REINSPECTIC 01-33-300-72853	300.00
					Total :	414.00
195880	2/11/2022	014854 THOMSON REUTERS-WEST PYMNT CTF	845810362			
					ONLINE/SOFTWARE SUBSCRIPTIO 01-17-225-72852	205.94
					Total :	205.94
195881	2/11/2022	004490 TINLEY PARK POLICE DEPT	020322			
					PETTY CASH/MTGS,LUNCH,CERTIF 01-17-215-72220	128.72
					01-17-205-72110	7.38
					01-17-205-73530	10.00
					01-17-215-72110	26.35

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195881	2/11/2022	004490 TINLEY PARK POLICE DEPT	(Continued)		01-17-225-72130 01-17-220-72530	13.00 6.00 Total : 191.45
195882	2/11/2022	012187 TOTAL AUTOMATION CONCEPTS, INC	W27634		ROOFTOP SERVICE TP POLICE DE 01-26-025-72520	534.00 Total : 534.00
195883	2/11/2022	007930 TRANS UNION	01200293		CREDIT SUMMARY,EMPLOYMENT (C 01-17-225-72852	152.64 Total : 152.64
195884	2/11/2022	013200 TRIBUNE PUBLISHING COMPANY	048625550000		CLASSIFIED LISTINGS 1/1-1/31/22 01-14-000-72355 01-33-310-72330 01-26-025-72330	138.00 322.50 186.01 Total : 646.51
195885	2/11/2022	015532 TRI-ELECTRONICS, INC.	278603	VTP-018886	ELECTRIC STRIKE & READER 01-26-025-72520	1,909.21 Total : 1,909.21
195886	2/11/2022	002165 ULINE, INC	144220390		GROCERY BAG AND ECT BOX 01-17-225-73600	357.16 Total : 357.16
195887	2/11/2022	008011 URBANSKI, JOHN	020222		REIMB LUNCH FOR NEW HIRE 01-26-023-72220 60-00-000-72220 63-00-000-72220 64-00-000-72220	31.00 18.23 3.47 9.30 Total : 62.00
195888	2/11/2022	020394 URIBE, BRANDON	020722		REFUND DOUBLE PAYMENT FOR 7 01-14-000-79000	100.00 Total : 100.00

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195889	2/11/2022	011416 VERIZON WIRELESS	9896539093		ACCT#242459316-00001 CENTRAL, 60-00-000-72127 63-00-000-72127 64-00-000-72127	33.52 33.52 28.74 Total : 95.78
195890	2/11/2022	006362 VILLAGE OF OAK LAWN	1-9990015-00		ACCT# 1-9990015-00 1/1-2/1/22 60-00-000-73220 63-00-000-73220	771,213.99 711,889.84 Total : 1,483,103.83
195891	2/11/2022	008095 VISSERS COLLISION CENTER	160002284		REPAIR FOR PD 20A 01-17-205-72540	296.00 Total : 296.00
195892	2/11/2022	010165 WAREHOUSE DIRECT WORKPL SOLTNS 5162123-0			POUCH,3MIL,LTR 100PK 01-26-024-73110 01-26-023-73110 60-00-000-73110 63-00-000-73110 64-00-000-73110	7.65 15.30 9.64 1.07 4.60 Total : 38.26
195893	2/11/2022	013263 WEST SIDE TRACTOR SALES	S06822		BACK HOE TEETH 60-00-000-72530 63-00-000-72530 64-00-000-72530	70.19 23.40 40.11 Total : 133.70
195894	2/11/2022	020217 WEX	0001476817-IN		FSA MONTHLY, JANUARY'22 AND C 01-12-000-72449	291.00 Total : 291.00
195895	2/11/2022	012723 WHALEN, BARBARA R	Ref001417472		UB Ref Cst #00452770 Rfnd on acct 60-00-000-20599	1,359.71 Total : 1,359.71
195896	2/11/2022	020398 WILLS, KIMBERLY	Ref001417473		UB Ref Cst #00450066 Rfnd on Acct	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195896	2/11/2022	020398 WILLS, KIMBERLY	(Continued)		60-00-000-20599	93.41
					Total :	93.41
195897	2/11/2022	018080 XYLEM WATER SOLUTIONS USA INC	3556C04686	VTP-018818	POST 6 PUMPS	
			3556C09337		64-00-000-72525	38,402.80
			3556C09338		VTP-018818 POST 6 PUMPS	
					64-00-000-72525	512.00
					VTO-018818 POST 6 PUMPS	
					64-00-000-72525	1,385.00
					Total :	40,299.80
109 Vouchers for bank code : apbank						Bank total : 1,887,241.52

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Village of Tinley Park

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3813	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006	PAYEE-ADVANET 01-14-000-72542	302.38
Total :						302.38
3814	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-1	PAYEE-ADVANET 01-14-000-72542	346.09
Total :						346.09
3815	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-2	PAYEE-ADVANET 01-14-000-72542	407.00
Total :						407.00
3816	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	496.36
Total :						496.36
3817	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-1	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	223.71
Total :						223.71
3818	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-2	PAYEE-ALIGN NETWORKS INC 01-14-000-72542	545.30
Total :						545.30
3819	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-3	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	84.24
Total :						84.24
3820	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-4	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	96.83
Total :						96.83
3821	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	201019W041	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	381.98
Total :						381.98
3822	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-5	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	42.36

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Voucher List
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Bank code : ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3822	2/8/2022	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)			Total : 42.36
3823	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-6		PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	139.19
					Total :	139.19
3824	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	241.82
					Total :	241.82
3825	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-1		PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	197.77
					Total :	197.77
3826	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-2		PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	211.15
					Total :	211.15
3827	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-3		PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	238.52
					Total :	238.52
3828	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-4		PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	211.15
					Total :	211.15
3829	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-5		PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	7,211.40
					Total :	7,211.40
3830	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-6		PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	211.15
					Total :	211.15
3831	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-7		PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	241.82
					Total :	241.82

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Bank code : ipmq

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3832	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	201119W024-8	PAYEE-PARKVIEW ORTHOPAEDIC (
					01-14-000-72542	211.15
					Total :	211.15
3833	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-7	PAYEE-PETERSON, JOHNSON & MI	
					01-14-000-72542	77.50
					Total :	77.50
3834	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019	PAYEE-PETERSON, JOHNSON & MI	
					01-14-000-72542	46.50
					Total :	46.50
3835	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	210323W028	PAYEE-PETERSON, JOHNSON & MI	
					01-14-000-72542	15.50
					Total :	15.50
3836	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-3	PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	1,704.52
					Total :	1,704.52
3837	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019-1	PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	2,247.68
					Total :	2,247.68
3838	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-8	PAYEE-VILLAGE OF TINLEY PARK	
					01-14-000-72542	1,113.02
					Total :	1,113.02
3839	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GR	2011 2010 2107 2104*	PAYEE-ALPHA REVIEW CORPORAT	
					01-14-000-72542	62.63
					60-00-000-72542	6.61
					63-00-000-72542	1.26
					64-00-000-72542	3.37
					60-00-000-72542	6.39
					01-14-000-72542	34.76
					60-00-000-72542	7.00
					63-00-000-72542	1.33
					64-00-000-72542	3.57

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3839	2/8/2022	018837	INSURANCE PROGRAM MANAGERS GRI (Continued)			
					60-00-000-72542	7.00
					63-00-000-72542	1.33
					64-00-000-72542	3.57
					01-14-000-72542	443.80
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					01-14-000-72542	40.34
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					01-14-000-72542	8.00
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					60-00-000-72542	4.88
					63-00-000-72542	0.93
					64-00-000-72542	2.49
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					01-14-000-72542	64.19
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					01-14-000-72542	65.63
					60-00-000-72542	6.39
					63-00-000-72542	1.22
					64-00-000-72542	3.25
					01-14-000-72542	78.85
					Total :	906.70

27 Vouchers for bank code : ipmq

Bank total : 18,152.79

136 Vouchers in this report

Total vouchers : 1,905,394.31

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Voucher List
Village of Tinley Park

Bank code : ipmq

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

_____ Village President

_____ Village Clerk

_____ Date



Interoffice Memo

Date: February 9, 2022

To: Village Board of Trustees

From: Kristin Thirion

Subject: Liquor License Classification Adjustments

Due to recent closures and/or changes within existing establishments, the following changes to the permitted numbers of Liquor licenses are proposed:

- 350 Brewing Company (closure): Reduction of one Class O license
- Salina's Pizza and Catering (closure): Reduction of one Class P license
- Chipotle # 1082 (menu change): Reduction of one Class A license
- Pepe's Mexican Restaurant (change): Reduction of one Class AV license; addition of one Class A license

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
NO. 2022-O-016

**AN ORDINANCE AMENDING TITLE XI, CHAPTER 112 SECTION 22,
PERMITTED NUMBER OF LIQUOR LICENSES**

MICHAEL GLOTZ, PRESIDENT
NANCY O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2022-O-016**AN ORDINANCE AMENDING TITLE XI, CHAPTER 112 SECTION 22,
PERMITTED NUMBER OF LIQUOR LICENSES**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, pursuant to Title XI, Chapter 112, Section 22 of the Village Code, liquor licenses may be authorized by the President and Board of Trustees of the Village of Tinley Park and the number of liquor licenses authorized to be issued for each class shall be kept on record in the office of the Village Clerk; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the said Village of Tinley Park and its residents to amend Title XI, Chapter 112, Section 22 of the Village Code to establish the number of liquor licenses available in the Village; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as finding of fact as if said recitals were fully set forth herein.

SECTION 2: Pursuant to Title XI, Chapter 112, Section 22 of the Village of Tinley Park Village Code, the Village is making the following changes due to closure and/or changes of existing establishments: decrease Class AV, Class O – 350 Brewing Company, LLC; decrease class P – Salinas Pasta & Pizza; decrease class A - Chipotle Mexican Grill #1082; decrease Class AV and increase Class A - Pepe's Mexican Restaurant.

SECTION 3: Pursuant to Title XI, Chapter 112, Section 22 of the Village of Tinley Park Village Code, the following underlined changes shall be made establishing the amount of liquor licenses available in the Village:

Class of License	Permitted Number
A	<u>21</u>
AV	<u>17</u>
AV-1	9
B	15
C	0
CV	3
D	1
DV	3
E	7
EV	10
F	1
G	3
I	1
J	1
K	4
L	3
N	3
O	<u>1</u>
OV	1
P	<u>0</u>
Q	N/A
R	1
S	1
UV	1
UV-2	1

SECTION 4: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 5: That this Ordinance shall be in full force and effect from and after its adoption and approval.

PASSED THIS 15th day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 15th day of February, 2022.

ATTEST:

VILLAGE PRESIDENT

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, NANCY O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-016, “AN ORDINANCE AMENDING TITLE XI, CHAPTER 112 SECTION 22, PERMITTED NUMBER OF LIQUOR LICENSES” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 15, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 15th day of February, 2022.

VILLAGE CLERK

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

RESOLUTION
NO. 2022-R-012

**A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6712
NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN
THE NEW BREMEN REDEVELOPMENT TIF DISTRICT**

MICHAEL W. GLOTZ, PRESIDENT
NANCY O'CONNER, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2022-R-012**A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6712 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TIF DISTRICT**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) by virtue of the 65 ILCS 5/11-74.4-4 and the Eminent Domain Act of the State of Illinois, is authorized to exercise the right of eminent domain to acquire property within a redevelopment project area for public use; and

WHEREAS, pursuant to the Tax Increment Allocation Redevelopment Act, 65 ILCS § 5/11-74.4-1, et seq. (the “Act”), on May 15, 2018, after providing all notices and conducting all public hearings as required by the Act, the Village adopted Ordinance No. 2018-O-015 designating the New Bremen Redevelopment Project Area (“Redevelopment Project Area”); and

WHEREAS, the Village has initiated negotiation for and has acquired the majority of parcels needed within the Redevelopment Project Area to construct the overall downtown redevelopment; and

WHEREAS, in order to obtain the remaining necessary parcels for the Redevelopment Project Area, the Village engaged in negotiations with the owners of 6712 North Street, described below, however, said negotiations shall continue in earnest; and

LOT 2 AND 3 IN BLOCK 4 IN THE VILLAGE OF TINLEY PARK,
FORMERLY BREMEN, IN THE SECTION 30 AND 31, TOWNSHIP 36
NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN
COOK COUNTY, ILLINOIS; PIN 28-30-407-007-0000; 6712 North Street, Tinley
Park, Illinois 60477

WHEREAS, the Village desires to continue to expedite the Redevelopment Project Area to ensure timely completion based on the obligations of allocated funds; and

WHEREAS, the Eminent Domain Act (735 ILCS 30/1-1-1, et seq.) allows the Illinois General Assembly to grant quick take authority to various units of government throughout the

State of Illinois, including the Village, that allows for the acquisition of real property to a final judicial determination of just compensation, therefore; and

WHEREAS, Quick Take authority would allow the Village to acquire the above-described parcel for the Redevelopment Project Area necessary for construction of the downtown redevelopment, including obtaining bids for construction; and

WHEREAS, the Village has (i) notified the property owners, and parties of interest, of the Village's request for Quick Take authority by certified letter on January 21, 2022; (ii) caused the Daily Southtown to publish notice of the Village's intention to acquire Quick Take authority on January 26, 2022; and (iii) held a public hearing regarding the request for Quick Take authority prior to the regular board meeting on February 15, 2022; and

WHEREAS, the Village requests authority to exercise quick take powers within one (1) year from the effective date of such power granted by the Illinois General Assembly to the Village of Tinley Park; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: That it hereby requests of the Illinois General Assembly approval of Quick Take authority legislation authorizing the Village to acquire 6712 North Street, Tinley Park, Illinois 60477, as described above by eminent domain quick take authority under 735 ILCS 30/1-1-1 et seq.

SECTION 3: That the President submit this resolution and a sworn, notarized affidavit that contains, or has attached as an incorporated exhibit, all documents required under Rule 41 of the Rules of the Illinois House of Representatives and Rule 5-6 of the Rules of the Illinois State Senate addressed to the Chairperson and Minority Spokesperson of the Illinois House Executive Committee and to the President of the Senate, or his or her designee, and the Minority Leader, or his or her designee, of the Illinois State Senate.

SECTION 4: That any grant of Quick Take authority by the Illinois General Assembly to the Village of Tinley Park given pursuant to this request may be used for a period that does not exceed one year from the effective date of such authority granted.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 15th day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 15th day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
 COUNTY OF COOK) SS
 COUNTY OF WILL)

CERTIFICATE

I, NANCY O’CONNER, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-012, “A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6712 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TIF DISTRICT,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 15th day of February, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 15th day of February, 2022.

 VILLAGE CLERK

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

RESOLUTION
NO. 2022-R-013

**A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6724
NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN
THE NEW BREMEN REDEVELOPMENT TIF DISTRICT**

MICHAEL W. GLOTZ, PRESIDENT
NANCY O'CONNER, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2022-R-013**A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6724 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TIF DISTRICT**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) by virtue of the 65 ILCS 5/11-74.4-4 and the Eminent Domain Act of the State of Illinois, is authorized to exercise the right of eminent domain to acquire property within a redevelopment project area for public use; and

WHEREAS, pursuant to the Tax Increment Allocation Redevelopment Act, 65 ILCS § 5/11-74.4-1, et seq. (the “Act”), on May 15, 2018, after providing all notices and conducting all public hearings as required by the Act, the Village adopted Ordinance No. 2018-O-015 designating the New Bremen Redevelopment Project Area (“Redevelopment Project Area”); and

WHEREAS, the Village has initiated negotiation for and has acquired the majority of parcels needed within the Redevelopment Project Area to construct the overall downtown redevelopment; and

WHEREAS, in order to obtain the remaining necessary parcels for the Redevelopment Project Area, the Village engaged in negotiations with the owners of 6724 North Street, described below, however, said negotiations shall continue in earnest; and

PARCEL 1 - LOT 5 IN BLOCK 4 IN THE VILLAGE OF BREMEN (NOW TINLEY PARK), BEING A SUBDIVISION IN SECTION 30 AND 31, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS; PIN 28-30-407-005-0000;
6724 NORTH STREET, TINLEY PARK, ILLINOIS 60477

WHEREAS, the Village desires to continue to expedite the Redevelopment Project Area to ensure timely completion based on the obligations of allocated funds; and

WHEREAS, the Eminent Domain Act (735 ILCS 30/1-1-1, et seq.) allows the Illinois General Assembly to grant quick take authority to various units of government throughout the

State of Illinois, including the Village, that allows for the acquisition of real property to a final judicial determination of just compensation, therefore; and

WHEREAS, Quick Take authority would allow the Village to acquire the above-described parcel for the Redevelopment Project Area necessary for construction of the downtown redevelopment, including obtaining bids for construction; and

WHEREAS, the Village has (i) notified the property owners, and parties of interest, of the Village's request for Quick Take authority by certified letter on January 21, 2022; (ii) caused the Daily Southtown to publish notice of the Village's intention to acquire Quick Take authority on January 26, 2022; and (iii) held a public hearing regarding the request for Quick Take authority prior to the regular board meeting on February 15, 2022; and

WHEREAS, the Village requests authority to exercise quick take powers within one (1) year from the effective date of such power granted by the Illinois General Assembly to the Village of Tinley Park; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: That it hereby requests of the Illinois General Assembly approval of Quick Take authority legislation authorizing the Village to acquire 6724 North Street, Tinley Park, Illinois 60477, as described above by eminent domain quick take authority under 735 ILCS 30/1-1-1 et seq.

SECTION 3: That the President submit this resolution and a sworn, notarized affidavit that contains, or has attached as an incorporated exhibit, all documents required under Rule 41 of the Rules of the Illinois House of Representatives and Rule 5-6 of the Rules of the Illinois State Senate addressed to the Chairperson and Minority Spokesperson of the Illinois House Executive Committee and to the President of the Senate, or his or her designee, and the Minority Leader, or his or her designee, of the Illinois State Senate.

SECTION 4: That any grant of Quick Take authority by the Illinois General Assembly to the Village of Tinley Park given pursuant to this request may be used for a period that does not exceed one year from the effective date of such authority granted.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 15th day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 15th day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, NANCY O’CONNER, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-013, “A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6724 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TIF DISTRICT,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 15th day of February, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 15th day of February, 2022.

VILLAGE CLERK

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

RESOLUTION
NO. 2022-R-014

**A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6706
NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN
THE NEW BREMEN REDEVELOPMENT TIF DISTRICT**

MICHAEL W. GLOTZ, PRESIDENT
NANCY O'CONNER, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2022-R-014**A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6706 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TIF DISTRICT**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) by virtue of the 65 ILCS 5/11-74.4-4 and the Eminent Domain Act of the State of Illinois, is authorized to exercise the right of eminent domain to acquire property within a redevelopment project area for public use; and

WHEREAS, pursuant to the Tax Increment Allocation Redevelopment Act, 65 ILCS § 5/11-74.4-1, et seq. (the “Act”), on May 15, 2018, after providing all notices and conducting all public hearings as required by the Act, the Village adopted Ordinance No. 2018-O-015 designating the New Bremen Redevelopment Project Area (“Redevelopment Project Area”); and

WHEREAS, the Village has initiated negotiation for and has acquired the majority of parcels needed within the Redevelopment Project Area to construct the overall downtown redevelopment; and

WHEREAS, in order to obtain the remaining necessary parcels for the Redevelopment Project Area, the Village engaged in negotiations with the owners of 6706 North Street, described below, however, said negotiations shall continue in earnest; and

LOT 1 IN BLOCK 4 IN THE VILLAGE OF BREMEN (NOW TINLEY PARK)
A SUBDIVISION OF THE WEST HALF OF THE SOUTHEAST QUARTER OF
SECTION 30, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD
PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS; PIN 28-30-407-008-
0000; 6706 North Street, Tinley Park, Illinois 60477

WHEREAS, the Village desires to continue to expedite the Redevelopment Project Area to ensure timely completion based on the obligations of allocated funds; and

WHEREAS, the Eminent Domain Act (735 ILCS 30/1-1-1, et seq.) allows the Illinois General Assembly to grant quick take authority to various units of government throughout the

State of Illinois, including the Village, that allows for the acquisition of real property to a final judicial determination of just compensation, therefore; and

WHEREAS, Quick Take authority would allow the Village to acquire the above-described parcel for the Redevelopment Project Area necessary for construction of the downtown redevelopment, including obtaining bids for construction; and

WHEREAS, the Village has (i) notified the property owners, and parties of interest, of the Village's request for Quick Take authority by certified letter on January 21, 2022; (ii) caused the Daily Southtown to publish notice of the Village's intention to acquire Quick Take authority on January 26, 2022; and (iii) held a public hearing regarding the request for Quick Take authority prior to the regular board meeting on February 15, 2022; and

WHEREAS, the Village requests authority to exercise quick take powers within one (1) year from the effective date of such power granted by the Illinois General Assembly to the Village of Tinley Park; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: That it hereby requests of the Illinois General Assembly approval of Quick Take authority legislation authorizing the Village to acquire 6706 North Street, Tinley Park, Illinois 60477, as described above by eminent domain quick take authority under 735 ILCS 30/1-1-1 et seq.

SECTION 3: That the President submit this resolution and a sworn, notarized affidavit that contains, or has attached as an incorporated exhibit, all documents required under Rule 41 of the Rules of the Illinois House of Representatives and Rule 5-6 of the Rules of the Illinois State Senate addressed to the Chairperson and Minority Spokesperson of the Illinois House Executive Committee and to the President of the Senate, or his or her designee, and the Minority Leader, or his or her designee, of the Illinois State Senate.

SECTION 4: That any grant of Quick Take authority by the Illinois General Assembly to the Village of Tinley Park given pursuant to this request may be used for a period that does not exceed one year from the effective date of such authority granted.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 15th day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 15th day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, NANCY O’CONNER, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-014, “A RESOLUTION REQUESTING QUICK TAKE AUTHORITY TO ACQUIRE 6706 NORTH STREET FOR THE DOWNTOWN REDEVELOPMENT PROJECT WITHIN THE NEW BREMEN REDEVELOPMENT TIF DISTRICT,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 15th day of February, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 15th day of February, 2022.

NANCY O’CONNER, VILLAGE CLERK

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

RESOLUTION
NO. 2022-R-020

**A RESOLUTION APPROVING AN AMENDMENT TO THE VILLAGE OF TINLEY
PARK TAX INCREMENT FINANCING REDEVELOPMENT AGREEMENT
BETWEEN THE VILLAGE OF TINLEY PARK AND J-M-W PROPERTIES,
LLC (7061-7063 159th STREET/RESOLUTION NO. 2021-R-034)**

MICHAEL W. GLOTZ, PRESIDENT
NANCY M. O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2022-R-020**A RESOLUTION APPROVING AN AMENDMENT TO THE VILLAGE OF TINLEY PARK TAX INCREMENT FINANCING REDEVELOPMENT AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND J-M-W PROPERTIES, LLC (7061-7063 159th STREET/RESOLUTION NO. 2021-R-034)**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) and J-M-W Properties, LLC (“Developer”) entered into that certain Redevelopment Agreement dated as of June 1, 2021, pursuant to Resolution No. 2021-R-034 (the “Original Redevelopment Agreement”) for the redevelopment of certain property located in the Village of Tinley Park, Illinois (the “Project”); and

WHEREAS, due to difficult weather conditions and the resulting delays, Developer has requested an extension to complete landscaping, parking lot redevelopment, and installation of a new roof; and

WHEREAS, the Village and Developer desire to amend the Original Redevelopment Agreement to permit Developer to substantially complete the Project on or before May 31, 2022; and

WHEREAS, it is the intent of the Village and J-M-W, pursuant to said Agreement, to promote the economic development and revitalization of certain real property located at 7061-7063 159th Street, Tinley Park, Illinois, PIN: 28-19-100-057-0000 and 28-19-100-058-0000; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of said Village of Tinley Park and its residents to grant the extension as set forth in the Amendment to the Original Redevelopment Agreement attached hereto; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interest of the Village and its residents that the aforesaid Amendment To The Village Of Tinley Park Tax Increment Financing Redevelopment Agreement (7061-7063 159th Street) (the “Amendment”) between the Village of Tinley Park and J-M-W Properties, LLC, as set forth in Exhibit A, be entered into and the Village President is hereby authorized to execute and memorialize said Amendment, subject to revision as to form by the Village Attorney.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 15th day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 15th day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, NANCY O’ CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-020, “A RESOLUTION APPROVING AN AMENDMENT TO THE VILLAGE OF TINLEY PARK TAX INCREMENT FINANCING REDEVELOPMENT AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND J-M-W PROPERTIES, LLC (7061-7063 159th STREET/RESOLUTION NO. 2020-R-034)” which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 15th day of February, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 15th day of February, 2022.

NANCY O’ CONNOR, VILLAGE CLERK

**AMENDMENT TO
VILLAGE OF TINLEY PARK
TAX INCREMENT FINANCING
REDEVELOPMENT AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK
AND J-M-W PROPERTIES, LLC
(7061-7063 159TH STREET/RESOLUTION NO. 2021-R-034)**

THIS AMENDMENT TO THE REDEVELOPMENT AGREEMENT (“Amendment”) is made and entered into this 15th day of February, 2022 (the “Effective Date”), by and between the **VILLAGE OF TINLEY PARK**, an Illinois municipal corporation (the “Village”) and **J-M-W PROPERTIES, LLC**, a Delaware limited liability company (the “Developer”), (the Village and Developer are hereinafter sometimes collectively referred to as the “Parties,” and individually as a “Party”, as the context may require).

RECITALS

WHEREAS, The Village and Developer entered into that certain Redevelopment Agreement dated as of June 1, 2021, pursuant to Resolution No. 2021-R-034 (the “Original Redevelopment Agreement”), attached hereto as **Exhibit A**, for the redevelopment of certain property located in the Village of Tinley Park, Illinois (the “Project”); and

WHEREAS, due to difficult weather conditions and the resulting delays, the Developer has requested an extension to complete landscaping, parking lot redevelopment, and installation of a new roof; and

WHEREAS, the Parties desire to amend the Original Redevelopment Agreement to permit Developer to substantially complete the Project on or before May 31, 2022;

NOW THEREFORE, in consideration of the foregoing and of the mutual covenants and agreements contained herein, the Village and the Developer do hereby agree as follows:

Section 1. Incorporation of Recitals. The foregoing recitals are hereby adopted as if fully restated herein.

Section 2. Section 2.1(A) of the Original Redevelopment Agreement is hereby amended to read as follows:

- A. The Developer shall construct the Project substantially in accordance with the Project Plans, and the Developer shall use commercially reasonable efforts to complete the Project on or before May 31, 2022, subject to any Force Majeure Delays (as defined below) and extraordinary construction delays; provided, however, that if Developer has not commenced construction of the Project on or before August 31, 2021, either Party shall have the right to terminate this Agreement. The Developer shall use commercially reasonable efforts to resurface the entire parking lot generally described on **Exhibit G** hereto (“Phase II Work”) on or before December 31, 2024, subject to any Force Majeure Delays (the “Phase II Work Date”).

Section 3. Continuing Effect. In all other respects, the Original Redevelopment Agreement is in full force and effect and is ratified as amended hereby.

Section 4. Effective Date. The Effective Date of this Amendment shall be the date on which the last of the Parties executes this Amendment.

[SIGNATURE PAGES FOLLOW]

IN WITNESS WHEREOF, the Parties have duly executed this Agreement pursuant to all requisite authorizations as of the date first above written.

VILLAGE OF TINLEY PARK,
an Illinois Municipal Corporation

By: _____

Village President

ATTEST:

Village Clerk

J-M-W Properties, LLC,
a Delaware limited liability company

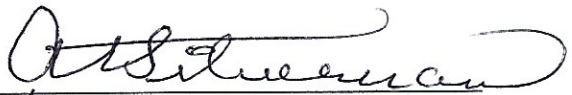
By: 
Name: ALAN SILVERMAN
Its: MBR PARTNER

Exhibit A

Resolution No. 2021-R-034

“Original Redevelopment Agreement”

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

RESOLUTION
NO. 2021-R-034

**A RESOLUTION AUTHORIZING THE EXECUTION OF A TAX INCREMENT
FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND
HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW
PROPERTIES, LLC FOR PROPERTY AT 7061-7063 159TH STREET.**

MICHAEL W. GLOTZ, PRESIDENT
KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

RESOLUTION NO. 2021-R-034**A RESOLUTION AUTHORIZING THE EXECUTION OF A TAX INCREMENT FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC FOR PROPERTY AT 7061-7063 159TH STREET.**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) and JMW Properties, LLC (“JMW”) have negotiated and now desire to enter into a Tax Increment Financing Redevelopment Agreement (“Agreement”) pertaining to the economic development and revitalization of certain areas of the Village located within the 159th and Harlem TIF District (“TIF District”), attached hereto as Exhibit 1; and

WHEREAS, pursuant to 65 ILCS 5/8-1-2.5 of the Illinois Municipal Code in conjunction with 65 ILCS 5/11-74.4-1 *et seq.* (“TIF Act”) the Village is authorized to appropriate and expend funds necessary for economic development and revitalization of real property within said TIF District; and

WHEREAS, it is the intent of the Village and JMW, pursuant to said Agreement, to promote the economic development and revitalization of certain real property located at 7061-7063 159th Street, Tinley Park, Illinois, PIN: 28-19-100-057-0000 and 28-19-100-058-0000; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of said Village of Tinley Park and its residents to enter into this Agreement with JMW; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interest of the Village and its residents that the aforesaid Agreement between

the Village and JMW, as set forth in Exhibit 1, be entered into and the Village President is hereby authorized to execute and memorialize said Agreement, subject to review and revision as to form by the Village Attorney.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of June, 2021.

AYES: Brady, Brennan, Galante, Moahoney, Mueller, Sullivan

NAYS: None

ABSENT: None

APPROVED THIS 1st day of June, 2021.


VILLAGE PRESIDENT

ATTEST:


DEPUTY VILLAGE CLERK

EXHIBIT 1

RESOLUTION 2021-R-034 AUTHORIZING THE EXECUTION OF A TAX INCREMENT FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC FOR PROPERTY AT 7061-7063 159TH STREET.

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5/26/21

**VILLAGE OF TINLEY PARK
TAX INCREMENT FINANCING
REDEVELOPMENT AGREEMENT
(7061-7063 159th STREET)**

THIS REDEVELOPMENT AGREEMENT (the “Agreement”) is made and entered into this 1st day of June, 2021 (the “Effective Date”), by and between the **VILLAGE OF TINLEY PARK**, an Illinois municipal corporation (the “Village”) and **J-M-W PROPERTIES, LLC**, a Delaware limited liability company (the “Developer”), (the Village and Developer are hereinafter sometimes collectively referred to as the “Parties,” and individually as a “Party”, as the context may require).

W I T N E S E T H:

WHEREAS, pursuant to the Tax Increment Allocation Redevelopment Act, as amended from time to time (65 ILCS 5/11-74.4-1 et seq.) (the “Act”), the Village has undertaken a program to redevelop certain property within the Village which is generally bounded as follows: 159th Street on the north (except for certain parcels west of Oak Park Avenue and north of 159th Street), the northern boundary of Siemsen Meadows (165th Street, extended) on the south, Oak Park Avenue on the east, and Olcott Avenue on the west (the “Redevelopment Project Area”). The Redevelopment Project Area is legally described and depicted in **Exhibit A** attached hereto and made apart hereof; and

WHEREAS, on August 18, 2020, the President and Board of Trustees (the “Corporate Authorities”) of the Village, after giving all necessary notices and conducting all necessary meetings and public hearings required by the Act, adopted the following ordinances (collectively the “TIF Ordinances”): (A) Ordinance No. 2020-O-44: An Ordinance Designating the Tax Increment Redevelopment Project Area; (B) Ordinance No. 2020-O-45: An Ordinance Approving

26 the 159th and Harlem Redevelopment Plan and Redevelopment Project; and (C) Ordinance No.
27 2020-O-46: An Ordinance Adopting Tax Increment Financing; and

28 **WHEREAS**, Chicago Trust Company, N.A. as Successor to Beverly Bank as Trustee
29 under #8-2120 is the fee title holder of the property legally described and depicted in **Exhibit B**
30 attached hereto and made apart hereof (“Property”); and

31 **WHEREAS**, the Property is located within the boundaries of the Redevelopment Project
32 Area; and

33 **WHEREAS**, the Property is currently improved with an out of date, underperforming
34 shopping center which was originally built in approximately 1971 and which currently consists of
35 124,213 square feet of retail space and outparcels (the “Shopping Center”); and

36 **WHEREAS**, the inline Shopping Center building will become vacant as of October 2021
37 when the leases for Hobby Lobby and Burlington Coat Factory (the “Current Tenants”) expire.
38 Burlington Coat Factory is downsizing and relocating their store to the adjacent shopping center
39 directly south of their current location. But for the Developer making certain improvements
40 (replacement of roof, parking lot and landscape enhancements), Hobby Lobby and the new tenant,
41 Floor & Décor, would not commit to signing a new lease.

42 **WHEREAS**, faced with significant existing and prospective vacancies, the Developer
43 proposes to undertake a major capital investment in the Property and the Shopping Center,
44 including the tear off and reconstruction of the entire roof system, parking lot upgrades that include
45 landscaping, and sidewalk replacement in front of shopping center to comply with ADA
46 requirements (the “Project”). These improvements were necessary to accommodate Floor & Décor
47 who will occupy 70,323 square foot (the “Retail Tenant”) and

48 **WHEREAS**, the Village has approved the site plans, and landscape plans as for the Project,
49 attached hereto as **Exhibit C**, as may be amended from time to time, are referred to herein as the
50 “Project Plans”; and

51 **WHEREAS**, the Developer has estimated that the hard and soft costs for the Project are
52 approximately \$2.27 million (the “Project Budget”) as set forth on **Exhibit D** attached hereto; and

53 **WHEREAS**, to facilitate the development and construction of the Project and subject to
54 and in accordance with the terms of this Agreement, the Village has agreed to reimburse the
55 Developer for certain Project costs solely from Available Incremental Taxes, as those terms are
56 defined below; and

57 **WHEREAS**, the Developer has agreed to develop and construct the Project in accordance
58 with this Agreement, all Village codes, ordinances and regulations (except to the extent the Village
59 has granted relief therefrom), as applicable to the Project Plans, and all other governmental
60 authorities having jurisdiction over the Property and the Project; and

61 **WHEREAS**, the Developer represents and warrants to the Village, and the Village finds
62 that, but for the financial assistance to be provided by the Village to the Developer pursuant to this
63 Agreement, the Project, would not be economically viable and, concomitantly, it is not reasonably
64 anticipated that the Developer would develop and construct the Project as contemplated; and

65 **WHEREAS**, this Agreement has been submitted to the Corporate Authorities of the
66 Village for consideration and review, and the Corporate Authorities and the Developer have taken
67 all actions required to be taken prior to approval and execution of this Agreement in order to make
68 the same binding upon the Village and the Developer according to the terms hereof; and

69 **WHEREAS**, the Corporate Authorities of the Village, after due and careful consideration,
70 have concluded that (A) the Developer meets high standards of creditworthiness on the basis it

71 will deploy its own capital to finance the Project (B) the development and construction of the
72 Project as provided herein will avoid significant vacancies at the Shopping Center, further the
73 growth of the Village, facilitate the redevelopment of a portion of the Redevelopment Project Area,
74 improve the environment of the Village, increase the assessed valuation of the real estate situated
75 within the Village, increase sales tax revenue, foster increased economic activity within the
76 Village's commercial sectors, increase employment opportunities within the Village by creating
77 and retaining jobs, improve the retail base of the Village and attract new tenants to the Shopping
78 Center and other retail properties in the Village, is in the best interest of the Village, and is
79 otherwise in the best interests of the Village by furthering the health, safety, morals and welfare of
80 its residents and taxpayers; and (C) without the financial assistance contemplated by this
81 Agreement, the Project would not be feasible; and

82 **WHEREAS**, pursuant to its Authority under (A) the Act; (B) its home rule powers under
83 the Article VII, Section 6 of the Illinois Constitution; and (C) Economic Development Act of the
84 Illinois Municipal Code, 65 ILCS 5/8-1-2.5 pertaining to economic incentive agreements, the
85 Village wishes to enter into this Agreement with the Developer.

86 **NOW THEREFORE**, in consideration of the foregoing and of the mutual covenants and
87 agreements contained herein, and other good and valuable consideration, the receipt and
88 sufficiency of which are hereby acknowledged, the Village and the Developer do hereby agree as
89 follows:

90 **ARTICLE I**
91 **RECITALS PART OF THE AGREEMENT**

92 The representations, covenants and recitations set forth in the foregoing recitals are
93 material to this Agreement and are hereby incorporated into and made a part of this Agreement as
94 though they were fully set forth in this Article I.

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**ARTICLE II
DEVELOPER OBLIGATIONS**

97 2.1 **Developer Obligations and Agreements.** In consideration of the substantial
98 commitment of the Village to the redevelopment of the Redevelopment Project Area pursuant to
99 the TIF Ordinances and its commitments contained in this Agreement, the Developer shall fulfill,
100 or has fulfilled, the following obligations:

101 A. The Developer shall construct the Project substantially in accordance with
102 the Project Plans, and the Developer shall use commercially reasonable
103 efforts to complete the Project on or before December 31, 2021, subject to
104 any Force Majeure Delays (as defined below) and extraordinary
105 construction delays; provided, however, that if Developer has not
106 commenced construction of the Project on or before August 31, 2021, either
107 Party shall have the right to terminate this Agreement. The Developer shall
108 use commercially reasonable efforts to resurface the entire parking lot
109 generally described on **Exhibit G** hereto (“Phase II Work”) on or before
110 December 31, 2024, subject to any Force Majeure Delays (the “Phase II
111 Work Date”).

112 B. The Developer will exercise reasonable efforts to advance, or cause other
113 parties to advance the funds necessary to construct and complete the Project
114 and the Phase II Work.

115 C. The Developer will exercise reasonable efforts to secure or cause to be
116 secured, all required permits, entitlements, authorizations and approvals
117 necessary or required to construct and complete the Project and the Phase II
118 Work.

119 D. In the event a claim is made against the Village, its officers, officials, agents
120 and employees or any of them, or if the Village, its officers, officials, agents
121 and employees or any of them (the “Indemnified Party” or “Indemnified
122 Parties”), is made a party-defendant in any proceeding arising out of or in
123 connection with the Developer’s construction, operation, duties, obligations
124 and responsibilities under the terms of this Agreement, the Project or the
125 Phase II Work including, but not limited to, any claim or cause of action
126 concerning construction of the Project or Phase II Work and, matters
127 pertaining to hazardous materials and other environmental matters in
128 existence as of the date of this Agreement, to the extent permitted by law,
129 the Developer shall indemnify, defend and hold harmless the Indemnified
130 Parties, or any Indemnified Party, from all claims, liabilities, losses, taxes,
131 judgments, costs, fines, fees, including expenses and reasonable attorney’s
132 fees, in connection therewith (collectively, “Losses”); provided, however,
133 that to the extent that any Losses are caused by the negligence, fraud or
134 willful misconduct of one or more Indemnified Parties, the Developer shall
135 have no obligation to indemnify such Indemnified Parties for any such
136 Losses. Any such Indemnified Party may obtain separate counsel to
137 participate in the defense thereof at his or her own expense. The
138 Indemnified Parties shall cooperate in the defense of such proceedings and
139 be available for any litigation related appearances which may be required.
140 Further, the Developer shall be entitled to settle any and all claims for
141 money, in such amounts and upon such terms as to payment as it may deem

142 appropriate, without the prior approval or consent of the Indemnified
143 Parties, or any of them, as the case may be, provided that neither the Village
144 nor any of the other Indemnified Parties shall be required to contribute to
145 such settlement except to the extent that Losses that are the subject of the
146 settlement are caused by the negligence, fraud or willful misconduct of an
147 Indemnified Party.

148 E. Notwithstanding anything herein to the contrary, none of the Indemnified
149 Parties shall be liable to the Developer for damages of any kind or nature
150 whatsoever or otherwise in the event that, except where due to the
151 negligence, fraud or willful misconduct of one or more of the Indemnified
152 Parties, all or any part of the Act, or any of the TIF Ordinances or other
153 ordinances of the Village adopted in connection with either the Act or this
154 Agreement, shall be declared invalid or unconstitutional in whole or in part
155 by the final (as to which all rights of appeal have expired or have been
156 exhausted) judgment of any court of competent jurisdiction, and by reason
157 thereof either the Village is prevented from performing any of the
158 covenants and agreements herein or the Developer is prevented from
159 enjoying the rights and privileges hereof; provided that nothing in this
160 Section 2.1.E shall limit otherwise permissible claims by the Developer
161 against the Village or actions by the Developer seeking specific
162 performance of this Agreement or payment of amounts due in the event of
163 a breach of this Agreement by the Village.

164 F. Upon reasonable notice, the Village Manager, or his designee, shall have
165 access to all portions of the Project while it is under construction during
166 normal business hours for the purpose of determining compliance with this
167 Agreement, applicable laws and applicable regulations; provided, however,
168 that any such person(s) shall comply with all construction site rules and
169 regulations while such person(s) is on or near the Property. Additionally,
170 the Developer shall keep and maintain detailed accountings of expenditures
171 demonstrating the total actual costs of the Developer's Project and Phase II
172 Work costs. All such books, records and other documents, including but
173 not limited to the general contractor's and subcontractors' sworn
174 statements, general contracts, subcontracts, purchase orders, waivers of
175 lien, paid receipts and invoices, and documentation evidencing that the
176 Developer has incurred and paid any expense for which reimbursement as
177 the Developer's Project and Phase II Work costs, including Redevelopment
178 Project Costs, is sought by Developer hereunder shall be made available in
179 electronic format for inspection, copying, audit and examination by an
180 authorized representative of the Village for a period of one (1) year after
181 issuance of the Certificate of Completion (as defined below). The Village
182 shall treat all such information as confidential business materials, the
183 disclosure of which would cause the Developer competitive harm. As such,
184 the Village shall not disclose any such information pursuant to a Freedom
185 of Information Act request unless compelled to by the Attorney General or
186 a court of competent jurisdiction.

- 187 G. The Developer shall cooperate with the Village and provide the Village with
188 the information in Developer’s possession or control required and necessary
189 under the Act to enable the Village to comply with the Act and its
190 obligations under this Agreement.
- 191 H. The Developer shall comply with the fair employment/affirmative action
192 principles contemplated by the Act and the TIF Ordinances, and with all
193 applicable federal, state and municipal regulations in connection with the
194 construction of the Project.
- 195 I. The Developer has furnished to the Village a Project Budget showing total
196 costs for the Project and the Phase II Work in the amount of \$2.27 million
197 as set forth in **Exhibit D**. The Developer hereby certifies to the Village that,
198 to the best of the Developer’s knowledge as of the date of this Agreement,
199 the Project Budget is true, correct and complete, good faith estimates in all
200 material respects.

201 2.2 **Representations and Warranties About Ownership.** The Developer represents,
202 warrants and covenants that, to its knowledge, no member, official, officer, employee of the
203 Village, or any commission or committee exercising authority over the Project or the Property, or
204 any consultant hired by the Village or the Developer with respect thereto, owns or controls or has
205 owned or controlled any interest, direct or indirect, in the Project or any portion of the Property,
206 or will own or control any interest in the Project, and that this Agreement will not violate Section
207 5/11-74.4-4(n) of the Act. Any representation or warranty made “to Seller’s actual knowledge” or
208 similar terms shall not be deemed to imply any duty of inquiry. For purposes of this Section 2.2,
209 “knowledge” shall mean and refer only to the actual knowledge of the Developer’s general counsel

210 and shall not be construed to refer to the knowledge of any other member, partner, officer, director,
 211 agent, employee or representative of the Developer or any affiliate of the Developer.

212 **2.3 Disclosure.** In accordance with Illinois law, 50 ILCS 105/3.1, simultaneously with
 213 the execution of this Agreement by the Parties, the Developer shall submit a sworn affidavit to the
 214 Village disclosing the identity of every owner and beneficiary having any interest, real or personal,
 215 in the Property, and every member, shareholder, limited partner, or general partner entitled to
 216 receive more than 7 1/2% of the total distributable income of the Developer. The sworn affidavit
 217 shall be substantially similar to the one attached as Exhibit E, attached hereto and made a part of
 218 this Agreement.

219 **2.4 Third Parties and Sublessees.** Developer warrants and covenants that certain third
 220 parties, namely Rubloff Development Group, Inc., Wildcat Capital Enterprises, and any other
 221 parties, assigns, and sublessees, do not have an ownership interest in the Property and are not
 222 parties to this Agreement. The Developer represents, warrants and covenants that it has the
 223 authority to enter into the Agreement.

224 **ARTICLE III**
 225 **VILLAGE OBLIGATIONS**

226 **3.1 Village Economic Assistance.** In consideration of the substantial commitment of
 227 the Developer to the development and construction of the Project and the undertaking of the Phase
 228 II Work and in order to induce the Developer to undertake the Project and the Phase II Work, the
 229 Village shall provide economic assistance to the Developer by reimbursing it for up to Nine
 230 Hundred and Sixty Thousand Dollars and No Cents (\$960,000) in Project and Phase II Work costs,
 231 or forty three percent (43%) of the Actual Project Costs, as defined in Section 3.6(A) below,
 232 whichever is lesser (the “Maximum Reimbursement Amount”) by annual installment payments
 233 (the “Economic Assistance”). The Economic Assistance shall be comprised of Available

234 Incremental Taxes, as defined in Section 3.2 below. The Maximum Reimbursement Amount shall
235 be reimbursed, to the extent the Developer has incurred Redevelopment Project Costs, by
236 Available Incremental Taxes. By way of example:

237 Estimated Redevelopment Project Costs are \$1.2 million or eighty percent of the Actual
238 Redevelopment Costs, which will be paid from Available Incremental Taxes. The
239 Maximum Reimbursement Amount shall always be \$960,000

240 **Available Incremental Taxes.** Following issuance of the Certificate of Expenditure, as
241 defined below, the Village shall pay the Developer from Available Incremental Taxes
242 generated during the Available Incremental Tax Term for Redevelopment Project Costs
243 incurred by the Developer. The term “Available Incremental Taxes” shall mean seventy
244 five percent (75%) of all net incremental ad valorem real property taxes received by the
245 Village, if any, arising from the levies upon the Property attributable to the then current
246 equalized assessed valuation of the Property over and above the initial equalized assessed
247 value of the Property, all as determined pursuant to Section 5/11-74.4-8 of the Act and the
248 TIF Ordinances. The Parties acknowledge that the initial equalized assessed value of the
249 Property, as set forth in the TIF Ordinances, the term “Redevelopment Project Costs” shall
250 mean and include all costs defined as “redevelopment project costs” in Section 5/11-74.4-
251 3(q) of the Act which are eligible for reimbursement under the Act and which have been
252 approved in the TIF Ordinances. The term “Available Incremental Tax Term” shall mean
253 that 10-year period, commencing December 1 of the first calendar year for which property
254 taxes are payable based on an assessed value of the Property that takes into account the
255 Project improvements, and ending 10 years thereafter; provided, however, that Developer
256 will be entitled to Available Incremental Taxes for each of the ten years during the

257 Available Incremental Tax Term even if such Available Incremental Taxes in the last year
258 have not yet been paid to Developer before the end of the Available Incremental Tax Term.
259 [For example, if the Project is completed in calendar year 2021 and real estate taxes for
260 calendar year 2021 payable in calendar year 2022 are based on an assessed value of the
261 Property that takes into account the Project improvements, then the Available Incremental
262 Tax Term will begin on December 1, 2022 and end on December 1, 2032.] The Parties
263 anticipate that the Developer will incur approximately One Million Two Hundred Thirty-
264 Five Thousand Dollars and No Cents (\$1,235,000) in Redevelopment Project Costs, as set
265 forth in **Exhibit D** attached hereto and made a part hereof.

266 3.2 The Developer agrees and understands that: (1) the sole source of funds for
267 payment of the Economic Assistance is expressly limited to Available Incremental Taxes; (2) the
268 Developer is assuming the risk that Available Incremental Taxes generated during the term of this
269 Agreement may be less than the Maximum Reimbursement Amount; (3) the Developer will have
270 no right to compel the exercise of any taxing power of the Village for payment of any of the
271 reimbursement amounts; (4) the Village's reimbursement obligations pursuant to this Agreement
272 do not and will not represent or constitute a general obligation or a pledge of the faith and credit
273 of the Village, the State of Illinois or any political subdivision thereof;

274 3.3 **Timing of Reimbursement Payments.**

275 A. Upon completion of the Project, the Developer shall submit a Certificate of
276 Expenditure, substantially in the form set forth on **Exhibit F** (the
277 "Certificate of Expenditure") to document and substantiate the amount of
278 Project costs incurred by the Developer (the "Actual Project Costs"),
279 including Redevelopment Project Costs. In addition to the Certificate of

280 Expenditure, the Developer's submission shall include such evidence
281 reasonably acceptable to the Village that validates the Developer has
282 incurred such Redevelopment Project Costs. Such evidence shall include,
283 but is not limited to, owner's sworn statements, contractor and
284 subcontractor lien waivers, invoices and cancelled checks related thereto,
285 or such other documents as may be appropriate or required. The Village
286 shall approve the Certificate of Expenditure within thirty (30) days of
287 receipt, provided that all necessary and sufficient supporting documentation
288 has been supplied by the Developer. All costs approved pursuant to a
289 Certificate of Expenditure shall be included in the calculation of Actual
290 Project Costs.

291 B. Upon completion of the Phase II Work, the Developer shall submit a
292 Certificate of Expenditure to document and substantiate the amount of
293 Phase II Work costs incurred by the Developer (the "Actual Phase II Work
294 Costs"), including Redevelopment Project Costs. In addition to the
295 Certificate of Expenditure, the Developer's submission shall include such
296 evidence reasonably acceptable to the Village that validates the Developer
297 has incurred such Redevelopment Project Costs. Such evidence shall
298 include, but is not limited to, owner's sworn statements, contractor and
299 subcontractor lien waivers, invoices and cancelled checks related thereto,
300 or such other documents as may be appropriate or required. The Village
301 shall approve the Certificate of Expenditure within thirty (30) days of
302 receipt, provided that all necessary and sufficient supporting documentation

303 has been supplied by the Developer. All costs approved pursuant to a
304 Certificate of Expenditure shall be included in the calculation of Actual
305 Phase II Work Costs.

306 C. **Roof Replacement Reimbursement.** In the event that Hobby Lobby does
307 not execute a lease by August 30, 2021, the Village's portion towards the
308 roof reimbursement will reduce from 80% or \$388,000 to 50% or \$194,000
309 or whichever is less based on the final cost of the roof as described in
310 **Exhibit D.** Developer shall consent to the recording of a lien upon the
311 Property in an amount equal to the Village's reimbursement costs of the
312 roof as follows: If either spaces are vacant for 18 consecutive months, the
313 Village will lien the property for 50% of the total roof reimbursement. If
314 both spaces are vacant for 18 consecutive months, 100% of the roof
315 reimbursement will be liened. Developer agrees that in the event of a
316 vacancy in the Shopping Center exceeding eighteen (18) months, it shall
317 reimburse the Village one percent (1%) of the lien amount for every month
318 of vacancy.

319 3.4 **Certificate of Completion.** Upon the Developer's written request, the Village
320 shall issue to the Developer a Certificate of Completion in recordable form confirming that the
321 Developer has fulfilled its obligation to complete the Project or the Phase II Work, as applicable,
322 in accordance with the terms of this Agreement. The Village shall issue the Certificate of
323 Completion only upon (i) the Village's determination of Developer's satisfactory completion of
324 the Project or the Phase II Work, as applicable, and (ii) the Village's approval of a Certificate of
325 Expenditure, as applicable for the Project. The Village shall respond to the Developer's written

326 request for a Certificate of Completion within thirty (30) days by issuing said Certificate or a
327 written statement detailing the ways in which the Project or the Phase II Work, as applicable does
328 not conform to this Agreement or has not been satisfactorily completed, and the measures which
329 must be taken by the Developer in order to obtain the applicable Certificate of Completion. The
330 Developer may resubmit a written request for a Certificate of Completion upon accomplishment
331 of such measures.

332 **3.5 Developer Indemnification.** In the event a claim is made against the Developer,
333 its directors, partners, affiliates, shareholders, officers, officials, agents and employees or any of
334 them, or if the Developer, its directors, partners, affiliates, shareholders, officers, officials, agents
335 and employees or any of them (the “Developer Indemnified Party” or “Developer Indemnified
336 Parties”), is made a party-defendant in any proceeding arising out of or in connection with the
337 Village’s duties, obligations and responsibilities under the terms of this Agreement to the extent
338 permitted by law, the Village shall indemnify, defend and hold harmless the Developer
339 Indemnified Parties, or any Developer Indemnified Party, from all claims, liabilities, losses, taxes,
340 judgments, costs, fines, fees, including expenses and reasonable attorney’s fees, in connection
341 therewith. Any such Developer Indemnified Party may obtain separate counsel to participate in
342 the defense thereof at his or her own expense. The Developer Indemnified Parties shall cooperate
343 in the defense of such proceedings and be available for any litigation related appearances which
344 may be required. Further, the Village shall be entitled to settle any and all claims for money, in
345 such amounts and upon such terms as to payment as it may deem appropriate, without the prior
346 approval or consent of the Developer Indemnified Parties, or any of them, as the case may be,
347 provided that neither the Developer nor any of the other Developer Indemnified Parties shall be
348 required to contribute to such settlement.

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**ARTICLE IV
AUTHORITY**

351 4.1 **Village Powers and Authority.** The Village hereby represents and warrants to
352 the Developer that the Village has full constitutional and lawful right, power and authority, under
353 currently applicable law, to execute and deliver and perform the terms and obligations of this
354 Agreement, and the foregoing has been, or will be, duly and validly authorized and approved by
355 all necessary Village proceedings, findings and actions. Accordingly, this Agreement constitutes
356 the legal, valid and binding obligation of the Village, and is enforceable in accordance with its
357 terms and provisions and the execution of this Agreement does not require the consent of any other
358 governmental authority.

359 4.2 **Developer Powers and Authority.** The Developer hereby represents and warrants
360 to the Village that the Developer has full lawful right, power and authority, under currently
361 applicable law, to execute and deliver and perform the terms and obligations of this Agreement,
362 and the foregoing has been or will be duly and validly authorized and approved by all necessary
363 Developer actions. Accordingly, this Agreement constitutes the legal, valid and binding obligation
364 of the Developer, is enforceable in accordance with its terms and provisions and does not require
365 the consent of any other party.

366 4.3 **Authorized Parties.** Except in cases where the approval or authorization of the
367 Village's Corporate Authorities is required by law, whenever, under the provisions of this
368 Agreement, or other related documents and instruments or any duly authorized supplemental
369 agreements, any request, demand, approval, notice or consent of the Village or the Developer is
370 required, or the Village or the Developer is required to agree to, or to take some action at, the
371 request of the other, such request, demand, approval, notice or consent, or agreement shall be given
372 for the Village, unless otherwise provided herein, by the Village Manager or his designee and for

373 the Developer by any officer of the Developer so authorized (and, in any event, the officers
374 executing this Agreement are so authorized). Any Party shall be authorized to act on any such
375 request, demand, approval, notice or consent, or agreement or other action and neither Party hereto
376 shall have any complaint against the other as a result of any such action taken.

377 **ARTICLE V**
378 **DEFAULTS AND REMEDIES**

379 5.1 **Breach.** A Party shall be deemed to be in breach this Agreement if it fails to
380 materially perform, observe or comply with any of its covenants, agreements or obligations
381 hereunder or breaches or violates any of its representations contained in this Agreement after the
382 expiration of any cure period applicable thereto.

383 5.2 **Cure of Breach.** Except as otherwise provided herein, prior to the time that a
384 failure of any Party to this Agreement to perform its obligations hereunder or the failure to perform
385 any other action or omission to perform any such obligation or action described in Section 5.1 shall
386 be deemed to be a breach hereof, the Party claiming such failure shall provide written notification
387 to the Party alleged to have failed to perform of the alleged failure and shall demand performance.
388 No breach of this Agreement may be found to have occurred if performance has commenced to
389 the reasonable satisfaction of the complaining Party within sixty (60) days of the receipt of such
390 notice; provided, however that if the Developer alleges that the Village has failed to pay
391 Incremental Taxes as and when required, then the Village shall have thirty (30) days to cure such
392 default. The prosecution of the conduct necessary to remedy the alleged breach must be diligently
393 pursued until the cure is perfected. The obligation to cure defaults, as herein required, shall be
394 tolled during any applicable time period during which a delay in performance is permitted as an
395 event of one or more Force Majeure Delays under the provisions of Section 6.3 hereof but the

396 tolling of the performance of any obligation shall be limited to the obligation or action as to which
397 the Force Majeure Delay provisions apply.

398 In the event that either Party shall breach any provision of this Agreement and fail to cure
399 said breach as provided in the preceding paragraph or as elsewhere provided in this Agreement,
400 the non-defaulting Party may enforce the terms hereof by filing any action or proceeding available
401 at law or in equity, in any court of competent jurisdiction, including an action for specific
402 performance of the covenants and agreements herein contained. Notwithstanding the foregoing,
403 the Village remedy for monetary breaches shall be limited to its actual (but not consequential)
404 damages in an amount not to exceed its out-of-pocket expenses incurred in connection with this
405 Agreement, including attorneys' fees. Except as otherwise set forth herein, no action taken by a
406 Party pursuant to the provisions of this Section 5.2 or pursuant to the provisions of any other
407 section of this Agreement shall be deemed to constitute an election of remedies and all remedies
408 set forth in this Agreement shall be cumulative and nonexclusive of any other remedy either set
409 forth herein or available to any Party at law or in equity. Notwithstanding anything herein to the
410 contrary, in the event that the Developer fails to complete the Project, the Village's sole remedy
411 shall be to withhold payment of Incremental Taxes.

412 **5.3 Default Shall Not Permit Termination of Agreement.** No default under this
413 Agreement shall entitle any Party to terminate, cancel or otherwise rescind this Agreement;
414 provided, however, this limitation shall not affect any other rights or remedies the Parties may
415 have by reason of any default under this Agreement.

416 **5.4 Right to Enjoin.** In the event of any violation or threatened violation of any of
417 the provisions of this Agreement by a Party, any other Party shall have the right to apply to a

418 court of competent jurisdiction for an injunction against such violation or threatened violation,
419 and/or for a decree of specific performance.

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**ARTICLE VI
GENERAL PROVISIONS**

424 6.1 **Timing of Essence.** Time is of the essence of this Agreement. The Parties will
425 make every reasonable effort to expedite the subject matters hereof and acknowledge that the
426 successful performance of this Agreement requires their continued cooperation.

427 6.2 **Mutual Assistance.** The Parties agree to take such actions, including the execution
428 and delivery of such documents, instruments and certifications (and, in the case of the Village, the
429 adoption of such ordinances and resolutions), as may be necessary or appropriate from time to
430 time to carry out the terms, provisions and intent of this Agreement and to aid and assist each other
431 in carrying out such terms, provisions and intent. The Village agrees that it shall not revoke or
432 amend one or more of the TIF Ordinances if such revocation or amendment would prevent or
433 impair the development of the Project in accordance with this Agreement or the Village's
434 performance of its obligations hereunder. The Parties shall cooperate fully with each other in
435 securing from any and all appropriate governmental authorities (whether federal, state, county or
436 local) any and all necessary or required permits, entitlements, authorizations and approvals to
437 develop and construct the Project.

438 6.3 **Force Majeure.** Neither the Village nor Developer nor any successor in interest
439 to either of them shall be considered in breach of or in default of its obligations under this
440 Agreement in the event of any delay caused by pandemic, epidemic, governmental restrictions,
441 takings, and limitations arising subsequent, war, state or national emergency, government

442 mandated closures, damage or destruction by fire or other casualty, strike, shortage of material,
443 unusually adverse weather conditions such as, by way of illustration and not limitation, severe rain
444 storms or below-freezing temperatures of abnormal degree or for an abnormal duration, tornadoes
445 or cyclones, and other events or conditions beyond the reasonable control of the Party affected
446 which in fact interferes with the ability of such Party to discharge its obligations hereunder (in
447 each case, a “Force Majeure Delay”). In each case where a Party hereto believes its performance
448 of any specific obligation, duty or covenant is delayed or impaired by reason of an event of Force
449 Majeure Delay, the Party claiming the benefit of this Section 6.3 shall notify the other Party of the
450 nature of the event claimed to constitute Force Majeure Delay and, specifically, the obligation,
451 duty or covenant which it believes is delayed or impaired by reason of the designated event.
452 Notification shall be provided in accordance with Section 6.8. Performance of the obligation, duty
453 or covenant impaired by reason of the designated event shall be tolled for that period of time
454 reasonably necessary to remove or otherwise cure the impediment to performance and the Party
455 relying on the event of Force Majeure Delay shall be obligated to pursue such remedy or cure with
456 reasonable diligence given the nature of the impairment, to the extent the same may be reasonably
457 cured. In no case shall an event of Force Majeure Delay toll the performance of any obligation,
458 duty or covenant not directly implicated in the claimed event of Force Majeure Delay. Further,
459 nothing herein shall be deemed to preclude the right of the Party entitled, by the terms of this
460 Agreement, to receive the performance of any obligation, duty or covenant to challenge the validity
461 of a claimed event of Force Majeure Delay. Force Majeure Delays will not apply to a Party’s
462 obligation under this Agreement to pay money to another Party.

463 6.4 **Amendment.** This Agreement, and any exhibits attached hereto, may be amended
464 only by the mutual consent of the Parties evidenced by a written amendment, by the adoption of

465 an ordinance or resolution of the Village approving said written amendment, as provided by law,
466 and by the execution of said written amendment by the Parties or their successors in interest.
467 Notwithstanding the foregoing, an amendment to the Project Plans shall not require an amendment
468 to this Agreement. In addition, the Village Manager may effect Minor Modifications to this
469 Agreement without the same being deemed an amendment to this Agreement which requires action
470 by the Village President and the Board of Trustees. For the purposes of this Agreement, the term
471 “Minor Modification” means a modification or waiver of any requirement, specification, or other
472 term set forth in this Agreement, consented to by the Parties in writing, whereby such
473 modification or waiver does not materially affect the goals, purposes, or nature of the Agreement.

474 **6.5 Entire Agreement.** This Agreement sets forth all agreements, understandings and
475 covenants between and among the Parties relative to the matters herein contained. This Agreement
476 supersedes all prior agreements, negotiations and understandings, written and oral, and shall be
477 deemed a full integration of the entire agreement of the Parties.

478 **6.6 Severability.** If any provisions, covenants, agreement or portion of this
479 Agreement, or its application to any person, entity or property, is held invalid, such invalidity shall
480 not affect the application or validity of any other provisions, covenants or portions of this
481 Agreement and, to that end, all provisions, covenants, agreements or portions of this Agreement
482 are declared to be severable.

483 **6.7 Consent or Approval.** Except as otherwise specifically provided in this
484 Agreement, whenever consent or approval written or otherwise of any Party to this Agreement is
485 required, such consent or approval shall not be unreasonably withheld, delayed or conditioned.

486 **6.8 Illinois Law.** This Agreement shall be construed in accordance with the laws of the
487 State of Illinois.

488 6.9 **Notice.** Any notice, request, consent, approval or demand (each, a “Notice”) given
489 or made under this Agreement shall be in writing and shall be given in the following manner: (A)
490 by personal delivery of such Notice; or (B) by mailing of such Notice by certified mail, return
491 receipt requested; or (C) by commercial overnight delivery of such Notice for next business day
492 delivery. All Notices shall be delivered to the addresses set forth in this Section 6.8. Notice served
493 by certified mail shall be effective on the fifth Business Day (as defined below) after the date of
494 mailing. Notice served by commercial overnight delivery for next business day shall be effective
495 on the next Business Day following deposit with the overnight delivery company. For purposes
496 hereof, the first “business hour” of a Business Day shall be 8:00 a.m. Central time and the last
497 “business hour” shall be 6:00 p.m. Central time. The term “Business Day” shall be Monday
498 through Friday, excluding federal and State of Illinois holidays.

499 If to the Village:

500 Village of Tinley Park
501 Attn: Village Manager
502 16250 South Oak Park Avenue
503 Tinley Park, Illinois 60477
504 dniemeyer@tinleypark.org

505 with a copy to:

506 Peterson, Johnson & Murray Chicago, LLC
507 Attn: Kevin Kearney
508 200 West Adams Street, Suite 2125
509 Chicago, Illinois 60606
510 kkearney@pjmchicago.com

511 If to the Developer:

512 J-M-W Properties, LLC
513 21 Tamarind Lane
514 Key Lago, FL 33037
515 Attn: Alan Silverman

516

517 with a copy to:

518 Michael Silverman
519 28 South Madison Street
520 Denver CO, 80209

521
522 Jim Beien
523 3005 W. Catalpa Avenue
524 Chicago, IL 60625

525 And to:

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527 O'Rourke, Hogan, Fowler & Dwyer, LLC
528 10 S. LaSalle Street, Suite 3700
529 Chicago, IL 60603
530 Attn: Howard Goldblatt

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532 6.10 **Counterparts.** This Agreement may be executed in several counterparts, each of
533 which shall be an original and all of which shall constitute but one and the same agreement.

534 6.11 **Term of Agreement.** The term of this Agreement shall commence on the Effective
535 Date and continue until the earlier of: (A) the Developer's receipt of the Maximum Reimbursement
536 Amount or (B) the last day of the Available Incremental Tax Term, whichever is later; provided,
537 however, the Village's obligation to make a final reimbursement payment of Available
538 Incremental Taxes under either Available Incremental Tax Term shall survive the term of the
539 Agreement and the Developer's rights and remedies to enforce such obligation shall survive the
540 term of the Agreement.

541 6.12 **Good Faith and Fair Dealing.** Village and Developer acknowledge their duty to
542 exercise their rights and remedies hereunder and to perform their covenants, agreements and
543 obligations hereunder, reasonably and in good faith.

544 6.13 **Drafting.** Each Party and its counsel have participated in the drafting of this
545 Agreement therefore none of the language contained in this Agreement shall be presumptively
546 construed in favor of or against either Party.

547 6.14 **Recording.** The Developer shall be permitted to record, at its costs and expense, a
548 memorandum of this Agreement with the Cook County Recorder of Deeds.

549 6.15 **Covenants Run with the Land/Successors and Assigns.** It is intended that the
550 covenants, conditions, agreements, promises, obligations and duties of each Party as set forth in
551 this Agreement shall be construed as covenants and that, to the fullest extent legally possible, all
552 such covenants shall run with and be enforceable against both the covenanted and the Property.
553 Such covenants shall terminate upon termination or expiration of this Agreement. On or before
554 the last date of payment of Incremental Taxes, the Village shall provide a release to confirm
555 termination of this Agreement which Developer may, at its sole cost and expense, record against
556 the Property. This Agreement shall inure to the benefit of, and shall be binding upon each
557 Developer and each Developer's respective successors, grantees and permitted assigns, and upon
558 successor corporate authorities of the Village and successor municipalities.

559 6.16 **Assignment.** Prior to issuance of the Certificate of Completion, Developer may
560 not assign this Agreement, or any rights of obligations hereunder, to any party, except to an
561 affiliate or party providing financing for the Project, without the prior express written consent
562 of the Village. After to issuance of the Certificate of Completion, the Developer may assign
563 this Agreement, or any rights of obligations hereunder, provided that the Developer delivers
564 notice not more than thirty (30) days after such assignment taking effect.

565 6.17 **Partial Funding.** Except as otherwise set for in this Agreement, the Developer
566 acknowledges and agrees that the economic assistance to be received by the Developer as set forth
567 in this Agreement is intended to be and shall be a source of partial funding for the Project and
568 agrees that any additional funding above and beyond said economic assistance shall be solely the
569 responsibility of the Developer. The Developer acknowledges and agrees that the amount of

570 economic assistance set forth in this Agreement represents the maximum amount of economic
571 assistance to be received by the Developer, provided the Developer complies with the terms and
572 provisions set forth in this Agreement. The Developer further acknowledges and agrees that the
573 Village is not a joint developer or joint venturer with the Developer and the Village is in no way
574 responsible for completion of any portion of the Project.

575 **6.18 Attorney Fees.** Should it become necessary to bring legal action or proceedings to
576 enforce this Agreement, or any portion thereof, or to declare the effect of the provisions of this
577 Agreement, the prevailing party shall be entitled to recover or offset against sums due, its costs,
578 including reasonable attorneys' and consultants' fees, in addition to whatever other relief the
579 prevailing party may be entitled.

580 **6.19 Estoppel Certificates.** Each of the Parties hereto agrees to provide the other, upon
581 not less than ten (10) business days prior request, a certificate certifying that this Agreement is in
582 full force and effect (unless such is not the case, in which such Party shall specify the basis for
583 such claim), that the requesting Party is not in default of any term, provision or condition of this
584 Agreement beyond any applicable notice and cure provision (or specifying each such claimed
585 default) and certifying such other matters reasonably requested by the requesting Party. If either
586 Party fails to comply with this provision within the time limit specified, it shall be deemed to have
587 appointed the other as its attorney-in-fact for execution of same on its behalf as to the specific
588 request only.

589 [SIGNATURE PAGES FOLLOW]

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598 **IN WITNESS WHEREOF**, the Parties have duly executed this Agreement pursuant to all
599 requisite authorizations as of the date first above written.

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601 **VILLAGE OF TINLEY PARK,**
602 an Illinois Municipal Corporation

603 By: Michael W. Boy
604

605 Village President

606 ATTEST: [Signature]
607
608 Village Clerk

J-M-W Properties, LLC,
a Delaware limited liability company

By: _____
Name: _____
Its: _____,

609 STATE OF ILLINOIS)
 610) SS
 611 COUNTY OF COOK)

612 I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
 613 HEREBY CERTIFY that the above-named Michael W. Glotz is personally known to
 614 me to be the Village President of Village of Tinley Park and also personally
 615 known to me to be the same person whose name is subscribed to the foregoing instrument as such
 616 Village President and respectively, and that he appeared before me this day in person
 617 and severally acknowledged that, as such Village President, he signed and delivered
 618 the said instrument, pursuant to authority given by the limited partnership as his free and voluntary
 619 act, and as the free and voluntary act and deed of said Village President of said limited
 620 partnership, for the uses and purposes therein set forth.

621 GIVEN under my hand and official seal, this 6th day of August, 2021.

622 Commission expires 9/14/2023

Laura Godette
 Notary Public



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IN WITNESS WHEREOF, the Parties have duly executed this Agreement pursuant to all

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requisite authorizations as of the date first above written.

600

601

VILLAGE OF TINLEY PARK,

602

an Illinois Municipal Corporation

603

By: _____

604

605

Village President

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ATTEST:

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608

Village Clerk

J-M-W Properties, LLC,
a Delaware limited liability company

By: 
Name: ALAN SILVERMAN
Its: INGR PARTNER,

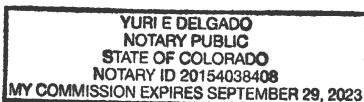
609 STATE OF ~~ILLINOIS~~ ^{Colorado})
 610 ~~COOK~~ ^{Denver}) SS
 611 COUNTY OF ~~COOK~~)

612 I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
 613 HEREBY CERTIFY that the above-named Alan Talbert Silverman is personally known to
 614 me to be the Managing Director of J&W properties LLC, and also personally
 615 known to me to be the same person whose name is subscribed to the foregoing instrument as such
 616 _____ and respectively, and that he appeared before me this day in person
 617 and severally acknowledged that, as such _____, he signed and delivered
 618 the said instrument, pursuant to authority given by the limited partnership as his free and voluntary
 619 act, and as the free and voluntary act and deed of said _____ of said limited
 620 partnership, for the uses and purposes therein set forth.

621 GIVEN under my hand and official seal, this 6th day of August, 2021.

622 Commission expires September 29, 2023

[Signature]
 Notary Public



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EXHIBIT A**Legal Description of Redevelopment Project Area**

THOSE PARTS OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12, SECTION 18, TOWNSHIP 36 NORTH, RANGE 13, SECTION 19, TOWNSHIP 36 NORTH, RANGE 13, ALL EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157;

THENCE NORTHERLY ALONG THE WEST LINE OF LOT 1 IN SAID SUPER-K SUBDIVISION AND THE WEST LINE OF LOT 2 IN SAID SUPER-K SUBDIVISION, TO THE NORTH LINE OF SAID LOT 2;

THENCE EASTERLY ALONG THE NORTH LINE OF LOT 2 IN SAID SUPER-K SUBDIVISION, TO A WEST LINE OF LOT 3 IN SAID SUPER-K SUBDIVISION;

THENCE NORTHERLY, NORTHWESTERLY AND NORTHERLY ALONG THE WEST LINES OF LOT 3 IN SAID SUPER-K SUBDIVISION, TO THE WESTERN MOST NORTHWEST CORNER OF SAID LOT 3, ALSO BEING THE WESTERN MOST SOUTHWEST CORNER OF LOT 1 IN PARK PLACE SUBDIVISION AS PER PLAT THEREOF RECORDED DECEMBER 7, 1992 AS DOCUMENT NUMBER 92914537;

THENCE NORTHERLY ALONG THE WEST LINE OF LOT 1 IN SAID PARK PLACE SUBDIVISION TO THE NORTH LINE OF LOT 1 IN SAID PARK PLACE SUBDIVISION AND THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE SOUTH LINE OF SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE NORTHERLY ALONG SAID WEST LINE, TO THE SOUTH LINE OF OLCOTT AVENUE DEDICATED AS PER PLAT THEREOF RECORDED JUNE 28, 1973 AS DOCUMENT NUMBER 22379900;

THENCE EASTERLY ALONG SAID SOUTH LINE, TO THE EAST LINE OF OLCOTT AVENUE DEDICATED AS PER PLAT THEREOF RECORDED JUNE 28, 1973 AS DOCUMENT NUMBER;

THENCE NORTHERLY ALONG SAID EAST LINE, AND THE NORTHERLY PROLONGATION THEREOF TO THE NORTH LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG SAID NORTH LINE, TO THE NORTHEAST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY TO THE SOUTHWEST CORNER OF SECTION 18, ALSO THE NORTHWEST CORNER OF SECTION 19, BOTH IN TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE SOUTH LINE OF SECTION 18, ALSO THE NORTH LINE OF SECTION 19, BOTH IN TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE NORTHERLY ALONG THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE NORTH LINE OF THE SOUTH 600 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE NORTH LINE OF THE SOUTH 600 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE NORTH LINE OF THE SOUTH 247 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE NORTH LINE OF THE SOUTH 247 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EAST LINE OF

THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO A POINT 15 FEET NORTH OF THE RIGHT OF WAY OF 159TH STREET AS INDICATED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 28, 2011 AS DOCUMENT NUMBER 1127141045;

THENCE SOUTHEASTERLY TO A POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF 159TH STREET AND THE EAST LINE OF THE WEST 65 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS AS INDICATED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 28, 2011 AS DOCUMENT NUMBER 1127141045;

THENCE EASTERLY, SOUTHERLY AND EASTERLY ALONG THE RIGHT OF WAY OF 159TH STREET, TO THE NORTHERLY PROLONGATION OF THE EAST LINE OF THE WEST 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE SOUTH LINE OF THE NORTH 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE SOUTH LINE OF THE NORTH 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE EAST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE WEST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE EAST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE

EASTERLY PROLONGATION OF THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING ON THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILE APRIL 8, 1971 AS DOCUMENT NUMBER LR2551034, A DISTANCE OF 183.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE WEST 180.00 FEET ALONG LAST SAID SOUTH LINE; THENCE SOUTH 5.00 FEET; THENCE WEST 200.00 FEET ALONG A LINE 5.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH LINE OF SAID 159TH STREET; THENCE NORTH 5.00 FEET; THENCE WEST 307.62 FEET ALONG THE SOUTH LINE OF SAID 159TH STREET; THENCE SOUTH 1050.00 FEET ON A LINE NORMAL TO SAID SOUTH LINE OF 159TH STREET; THENCE EAST 845.55 FEET TO THE WEST RIGHT OF WAY LINE OF OAK PARK AVENUE (WHICH IS 33.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF SAID SECTION); THENCE NORTH ALONG LAST SAID WEST LINE 355.45 FEET TO A POINT 694.55 FEET SOUTH FROM THE SOUTH RIGHT OF WAY LINE OF 159TH STREET; THENCE WEST 17.00 FEET; THENCE NORTH 555.63 FEET; THENCE WEST 133.00 FEET; THENCE NORTH 139.68 FEET TO THE SOUTH LINE OF 159TH STREET AND THE POINT OF BEGINNING;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE AND THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING ON THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILE APRIL 8, 1971 AS DOCUMENT NUMBER LR2551034, A

DISTANCE OF 183.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE WEST 180.00 FEET ALONG LAST SAID SOUTH LINE; THENCE SOUTH 5.00 FEET; THENCE WEST 200.00 FEET ALONG A LINE 5.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH LINE OF SAID 159TH STREET; THENCE NORTH 5.00 FEET; THENCE WEST 307.62 FEET ALONG THE SOUTH LINE OF SAID 159TH STREET; THENCE SOUTH 1050.00 FEET ON A LINE NORMAL TO SAID SOUTH LINE OF 159TH STREET; THENCE EAST 845.55 FEET TO THE WEST RIGHT OF WAY LINE OF OAK PARK AVENUE (WHICH IS 33.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF SAID SECTION); THENCE NORTH ALONG LAST SAID WEST LINE 355.45 FEET TO A POINT 694.55 FEET SOUTH FROM THE SOUTH RIGHT OF WAY LINE OF 159TH STREET; THENCE WEST 17.00 FEET; THENCE NORTH 555.63 FEET; THENCE WEST 133.00 FEET; THENCE NORTH 139.68 FEET TO THE SOUTH LINE OF 159TH STREET AND THE POINT OF BEGINNING, TO THE SOUTHWEST CORNER THEREOF AND ALSO THE SOUTHEAST CORNER OF PARCEL OF LAND BEING PART OF THE WEST HALF AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILED

APRIL 8, 1971 AS DOCUMENT LR 2551034 AND THE LINE BETWEEN THE EAST HALF AND THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE WEST 117.55 FEET ALONG SAID SOUTH RIGHT OF WAY LINE 1094 FEET EAST OF THE WEST LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 1050 FEET ON LAST SAID LINE; THENCE EAST 451.56 FEET ON A LINE 1050 FEET SOUTH OF AND PARALLEL TO SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 1050 FEET TO SAID SOUTH RIGHT OF WAY LINE A DISTANCE OF 339.11 FEET EAST OF THE POINT OF BEGINNING; THENCE WEST 339.11 FEET ON LAST SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING;

THENCE CONTINUING WESTERLY ON THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILED APRIL 8, 1971 AS DOCUMENT LR 2551034 AND THE LINE BETWEEN THE EAST HALF AND THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE WEST 117.55 FEET ALONG SAID SOUTH RIGHT OF WAY LINE 1094 FEET EAST OF THE WEST LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 1050 FEET ON LAST SAID LINE; THENCE EAST 451.56 FEET ON A LINE 1050 FEET SOUTH OF AND PARALLEL TO SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 1050 FEET TO SAID SOUTH RIGHT OF WAY LINE A DISTANCE OF 339.11 FEET EAST OF THE POINT OF BEGINNING; THENCE WEST 339.11 FEET ON LAST SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING, TO THE WESTERN MOST NORTHWEST CORNER OF OUTLOT C IN DUN RAVEN PLACE PHASE II AS PER PLAT THEREOF RECORDED SEPTEMBER 28, 2001 AS DOCUMENT NUMBER 0010908493;

THENCE SOUTHWESTERLY TO A POINT OF TANGENCY IN THE NORTH LINE OF OUTLOT D IN DUNRAVEN PLACE AS PER PLAT THEREOF RECORDED AUGUST 30, 1999 AS DOCUMENT NUMBER 99827216 BEING THE WESTERLY TERMINUS OF AN ARC HAVING A RADIUS OF 192.00 FEET AND AN ARC LENGTH OF 300.13 FEET;

THENCE WESTERLY AND SOUTHWESTERLY ALONG THE NORTHERLY LIMITS OF OUTLOT D IN DUNRAVEN PLACE AS PER PLAT THEREOF RECORDED AUGUST 30, 1999 AS DOCUMENT NUMBER 99827216, TO THE EASTERLY PROLONGATION OF THE SOUTH LINE OF PARCEL OF LAND DESCRIBED AS FOLLOWS: THAT PART OF LOT 3 LYING NORTH OF A LINE DRAWN PARALLEL WITH THE NORTH LINE OF SAID LOT 3 THROUGH A POINT IN THE WEST LINE OF SAID LOT 3 WHICH POINT IS 352.19 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3 AS MEASURED ALONG SAID WEST LINE ALL IN CENTENNIAL OFFICE PARK AS PER PLAT THEREOF RECORDED OCTOBER 5, 1988 AS DOCUMENT NUMBER 88458264;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE AND THE SOUTH LINE OF PARCEL OF LAND DESCRIBED AS FOLLOWS: THAT PART OF LOT 3 LYING NORTH OF A LINE DRAWN PARALLEL WITH THE NORTH LINE OF SAID LOT 3 THROUGH A POINT IN THE WEST LINE OF SAID LOT 3 WHICH POINT IS

352.19 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3 AS MEASURED ALONG SAID WEST LINE ALL IN CENTENNIAL OFFICE PARK AS PER PLAT THEREOF RECORDED OCTOBER 5, 1988 AS DOCUMENT NUMBER 88458264, TO THE WEST LINE OF SAID LOT 3, ALSO THE EAST LINE OF LOT 1 IN TINLEY PARK PLAZA SUBDIVISION AS PER PLAT THEREOF RECORDED APRIL 7, 2004 AS DOCUMENT NUMBER 0409818067;

THENCE SOUTHERLY ALONG THE EAST LINE OF LOT 1 IN TINLEY PARK PLAZA SUBDIVISION AS PER PLAT THEREOF RECORDED APRIL 7, 2004 AS DOCUMENT NUMBER 0409818067, ALSO THE WEST LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558;

THENCE SOUTHEASTERLY ALONG THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE WESTERLY LINE OF CENTENNIAL DRIVE AS DEDICATED BY INSTRUMENT RECORDED JULY 9, 1980 AS DOCUMENT NUMBER 25509385;

THENCE CONTINUING SOUTHEASTERLY ALONG THE SOUTHEASTERLY PROLONGATION OF THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE WEST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE SOUTHERLY ON THE WEST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE SOUTHEAST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE NORTHEASTERLY ALONG THE SOUTHEAST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC) AND THE SOUTHEAST LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524

(RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE

SOUTHWEST LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE SOUTHEASTERLY ALONG THE SOUTHWEST LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE NORTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 19; THENCE NORTH 89 DEGREES 43 MINUTES WEST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 585 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO A POINT OF CURVE; THENCE SOUTHWESTERLY ON A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 258.72 FEET, AN ARC DISTANCE OF 101.52 FEET AND A CHORD BEARING OF SOUTH 79 DEGREES 02 MINUTES 33 SECONDS WEST; THENCE NORTH 68 DEGREES 24 MINUTES 11 SECONDS WEST 79.57 FEET; THENCE NORTH 00 DEGREES 12 MINUTES 54 SECONDS EAST 533 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES EAST 755.40 FEET, TO THE EAST LINE OF SAID WEST HALF OF SECTION 19; THENCE SOUTH 00 DEGREES 03 MINUTES 54 SECONDS EAST 542.27 FEET ALONG SAID LINE TO THE POINT OF BEGINNING;

THENCE EASTERLY ALONG THE NORTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 19; THENCE NORTH 89 DEGREES 43 MINUTES WEST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 585 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO A POINT OF CURVE; THENCE SOUTHWESTERLY ON A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 258.72 FEET, AN ARC DISTANCE OF 101.52 FEET AND A CHORD BEARING OF SOUTH 79 DEGREES 02 MINUTES 33 SECONDS WEST; THENCE NORTH 68 DEGREES 24 MINUTES 11 SECONDS WEST 79.57 FEET; THENCE NORTH 00 DEGREES 12 MINUTES 54 SECONDS EAST 533 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES EAST 755.40 FEET, TO THE EAST LINE OF SAID WEST HALF OF SECTION 19; THENCE SOUTH 00 DEGREES 03 MINUTES 54 SECONDS EAST 542.27 FEET ALONG SAID LINE TO THE POINT OF BEGINNING, TO THE EAST LINE OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EASTERLY PROLONGATION OF THE NORTH LINE OF LOT 1 IN WARTHEN'S RESUBDIVISION AS PER PLAT THEREOF RECORDED SEPTEMBER 4, 1975 AS DOCUMENT NUMBER 23210202;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 1, THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 1 AND THE NORTH LINE OF LOT 2 ALL IN WARTHEN'S RESUBDIVISION AS PER PLAT THEREOF RECORDED SEPTEMBER 4, 1975 AS DOCUMENT NUMBER 23210202, TO THE SOUTH LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778

THENCE WESTERLY, SOUTHWESTERLY AND SOUTHERLY ALONG THE SOUTH LINE, SOUTHEAST LINE AND EAST LINE OF BREMEN TOWN DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778, TO THE SOUTHWEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778;

THENCE NORTHWESTERLY ALONG THE SOUTHWEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778, TO THE WEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778;

THENCE NORTHERLY ALONG THE WEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778 TO THE NORTH LINE OF LOT 16 IN BREMEN WOODS SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 16 AND THE NORTH LINE OF LOT 15 IN BREMEN WOODS SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE SOUTHERLY PROLONGATION OF THE EAST LINE OF LOT 17 IN BREMEN WOODS SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY ALONG THE SOUTHERLY PROLONGATION OF THE EAST LINE OF LOT 17, AND THE EAST LINE OF LOT 17 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE SOUTHEAST CORNER OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY, WESTERLY, NORTHERLY, EASTERLY AND NORTHERLY ALONG THE EASTERN LIMITS OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE NORTHEAST CORNER OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 18, THE NORTH LINE OF LOT 19, THE NORTH LINE OF LOT 20, THE NORTH LINE OF LOT 21 AND THE NORTH LINE OF LOT 26 ALL IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE EAST LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY ALONG THE EAST LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE NORTH LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE WEST LINE OF PARCEL OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 19; THENCE SOUTH 89 DEGREES 43 MINUTES EAST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 908 FEET ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 43 MINUTES EAST 258.81 FEET ALONG SAID NORTH LINE; THENCE SOUTH 657.03 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 58 SECONDS WEST 244.05 FEET; THENCE NORTH 116.32 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 30 SECONDS WEST 15 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 30 SECONDS EAST 542 FEET TO THE POINT OF BEGINNING;

THENCE NORTHERLY ALONG THE WEST LINE OF PARCEL OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 19; THENCE SOUTH 89 DEGREES 43 MINUTES EAST (BEARINGS ASSUMED FOR

PURPOSES OF THIS PARCEL ONLY) 908 FEET ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 43 MINUTES EAST 258.81 FEET ALONG SAID NORTH LINE; THENCE SOUTH 657.03 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 58 SECONDS WEST 244.05 FEET; THENCE NORTH 116.32 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 30 SECONDS WEST 15 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 30 SECONDS EAST 542 FEET TO THE POINT OF BEGINNING, TO THE NORTH LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE NORTH LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE SOUTH LINE OF 163RD STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED APRIL 15, 1976 AS DOCUMENT NUMBER 23453671 AND T2864222;

THENCE SOUTHWESTERLY AND WESTERLY ALONG THE SOUTH LINE OF 163RD STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED APRIL 15, 1976 AS DOCUMENT NUMBER 23453671 AND T2864222, TO THE EAST LINE OF HARLEM AVENUE EXISTING AS OF MAY 25, 2020;

THENCE SOUTHERLY ALONG THE EAST LINE OF HARLEM AVENUE EXISTING AS OF MAY 25, 2020, TO THE EASTERLY PROLONGATION OF THE SOUTH LINE OF THE SOUTH LINE OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE OF LOT 1 AND THE SOUTH LINE OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157, TO THE POINT OF BEGINNING.

EXCEPTING FROM THE ABOVE THE FOLLOWING DESCRIBED PARCELS OF LAND:

LOT 83 THROUGH LOT 89 (BOTH INCLUSIVE) IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND T2419778.

ALSO,

LOT 1 THROUGH LOT 12 (BOTH INCLUSIVE) IN BREMENTOWNE PARK TOWNHOUSE RESUBDIVISION PHASE I AS PER PLAT THEREOF RECORDED DECEMBER 21, 1990 AS DOCUMENT NUMBER 90619247.

ALSO,

LOT 1 THROUGH LOT 5 (BOTH INCLUSIVE) IN BREMENTOWNE PARK TOWNHOUSE RESUBDIVISION PHASE II AS PER PLAT THEREOF RECORDED OCTOBER 28, 1993 AS DOCUMENT NUMBER 93870509.

Map of Redevelopment Project Area

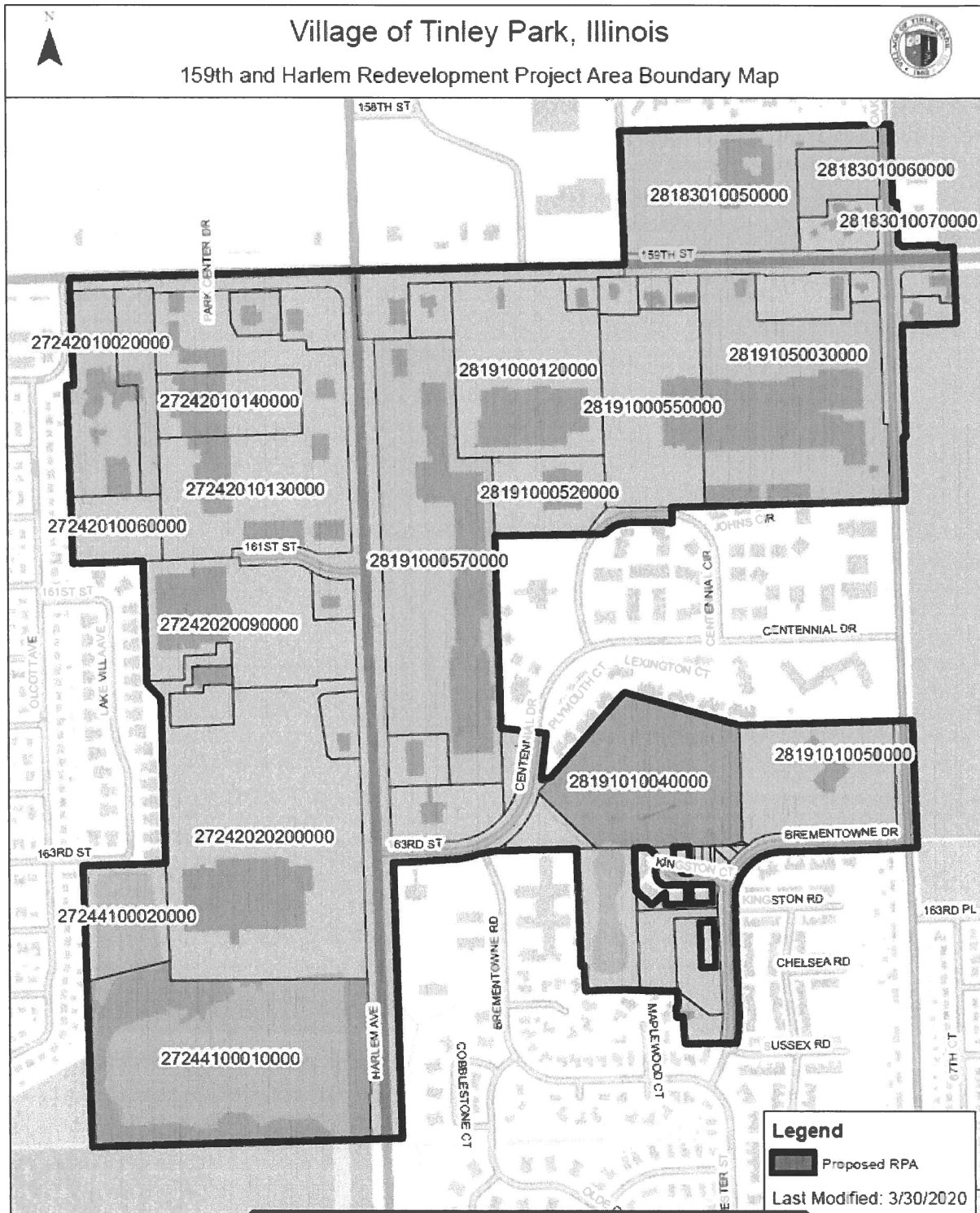


EXHIBIT B**Legal Description and Map of Property**

THAT PART OF THE WEST ½ OF THE NORTHWEST ¼ OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING ON A LINE 1094 FEET EAST OF THE WEST LINE OF SAID NORTHWEST ¼ AT THE SOUTH RIGHT-OF-WAY LINE OF 159TH STREET; THENCE SOUTH ON SAID LINE 1094 FEET EAST OF SAID WEST LINE 800 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 45 SECONDS WEST 665 FEET TO THE EAST LINE OF THE WEST 26 RODS OF SAID WEST ½ OF THE NORTHWEST ¼; THENCE NORTH 790 FEET ALONG SAID LAST SAID LINE TO THE SOUTH RIGHT-OF-WAY LINE OF 159TH STREET; THENCE NORTH 87 DEGREES 15 MINUTES 43 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE 212.24 FEET; THENCE SOUTH 89 DEGREES 57 MINUTES 45 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE 453 FEET TO THE PLACE OF BEGINNING (EXCEPTING THEREFROM THE NORTH 150 FEET OF THE EAST 150 FEET), ALL IN COOK COUNTY, ILLINOIS.

ALSO EXCEPTING THEREFROM THAT PORTION TAKEN BY CONDEMNATION BY THE STATE OF ILLINOIS, IN CASE NO. 93 L 50936, ALL IN COOK COUNTY, ILLINOIS.

Legal Description of Property

PIN(S): 28-19-100-057; 28-19-100-058

COMMONLY KNOWN AS: 7061-7063 159th Street
Tinley Park, Illinois

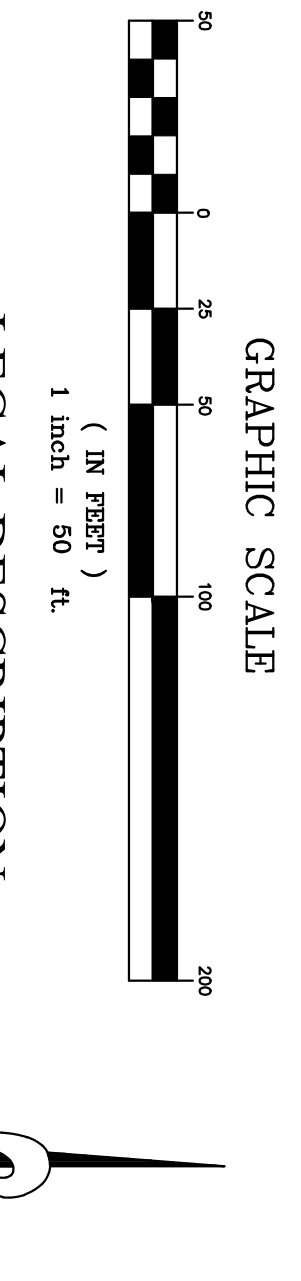
ALTA/NSSPS LAND TITLE AND TOPOGRAPHIC SURVEY

LINE LEGEND: UNITS OF LAND PER ACRES, LOTS OR BLOCKS, LOT OR BLOCK DESCRIPTION, EASEMENT, CENTERLINE, BUILDING SETBACK LINE, EXISTING CONTOUR.

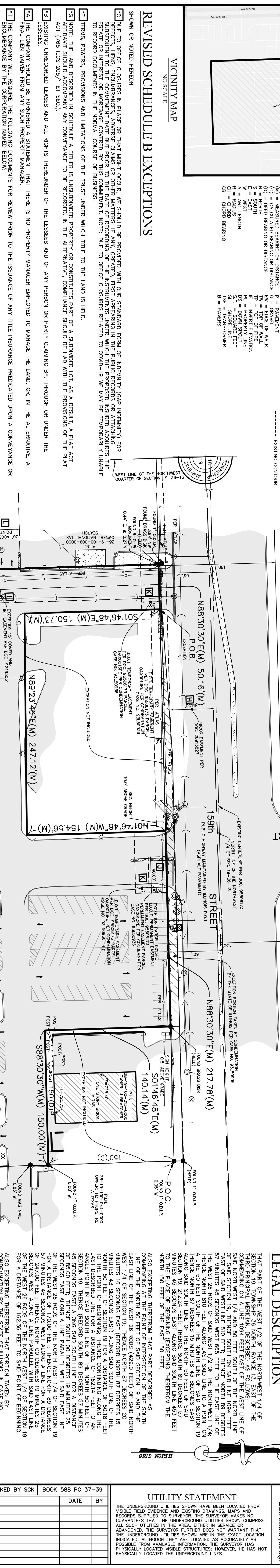
ABBREVIATIONS: DUE TO, UTILITY EASEMENT, D.E., DRAINAGE EASEMENT, FINISHED FLOOR, P.O.C., POINT OF COMMENCEMENT, UNFINISHED FLOOR, P.O.B., POINT OF BEGINNING AND END OF CONVEYANCE, ADJACENT LAND, EASEMENT, CENTERLINE, BUILDING SETBACK LINE, EXISTING CONTOUR.

STIPPLED PARKING DATA: REGULAR SPACES = 342, ACCESSIBLE SPACES = 16, TOTAL SPACES = 357 (BASED ON MEASURED VALUES)

AREA SUMMARY (TO HEAVY LINES): 47328.94 SQ. FEET, 10.8664 ACRES (BASED ON MEASURED VALUES)



LEGAL DESCRIPTION



LEGAL DESCRIPTION

THE SURVEYOR LOCATED THE OBSERVED IMPROVEMENTS ON THIS SURVEY... THE UNDERGROUND UTILITIES SHOWN WERE LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS... THE SURVEYOR HAS NO CONTROLLED INTEREST IN ANY OF THE LANDS SURVEYED.

SNOW NOTE

THE SURVEYOR LOCATED THE OBSERVED IMPROVEMENTS ON THIS SURVEY... THE SURVEYOR HAS NO CONTROLLED INTEREST IN ANY OF THE LANDS SURVEYED.

LEGEND

Legend table with symbols for features like FOUND 7" O.D. PIPE, UTILITY POLE, SPRINKLER CONTROL VALVE, and various easements.

SURVEYORS CERTIFICATION

COMPASS SURVEYING LTD. PROFESSIONAL DESIGN FIRM. LAND SURVEYOR CORPORATION NO. 184-0027778. LICENSE EXPIRES 7/30/2023. DATE OF PLAT OR MAP 03-19-2021.

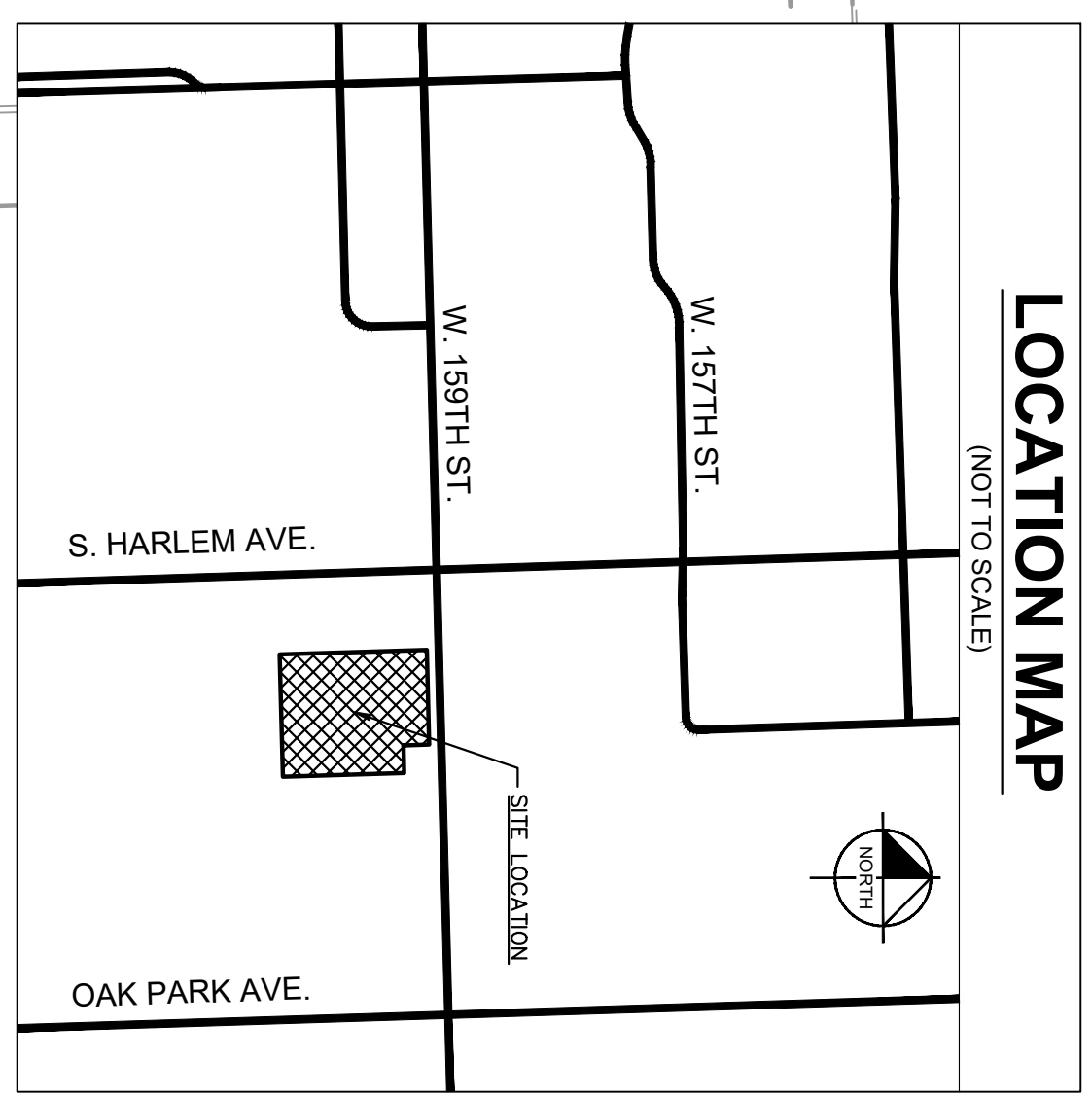
COMPASS SURVEYING LTD. 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502. PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN WERE LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS... THE SURVEYOR HAS NO CONTROLLED INTEREST IN ANY OF THE LANDS SURVEYED.

Kimley-Horn logo and contact information: 2020 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, GAITHERSBURG, MD 20878. PHONE: (301) 477-1250 FAX: (301) 477-1255 WWW.KIMLEY-HORN.COM

EXHIBIT C

Project Plans



- ### GENERAL NOTES
1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 4. RAILY ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-HEET THROCK.
 5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MAP SHEET 1.0 FOR SIGNAGE.
 6. ALL PROPOSED ON-SITE SIGNING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

- ### KEY NOTES
1. 8" B&I CURB AND GUTTER, TYP. (SEE DETAILS)
 2. 6" BARRIER CURB (SEE DETAILS)
 3. FLUSH CURB AND WALK
 4. CONCRETE SIDEWALK, TYP. (SEE DETAILS)
 5. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
 6. 4" WIDE PAINTED YELLOW LINE, TYP.
 7. 4" PAINTED YELLOW STRIPING AT 45° & ON CENTER, TYP.
 8. CONNECT TO EXISTING PAVEMENT SIDEWALK, CURB, TYP. EXISTING ELEVATIONS SHALL BE SHOWN AND DIMENSIONED TO WALKWAY.
 9. TRASH COMPACTOR (SEE ARCHITECTURAL PLANS)
 10. RUBBER WHEEL STOP
 11. EX. BOLLARD, TYP. (SEE ARCHITECTURAL PLANS)
 12. EX. BOLLARD TO REMAIN (SEE ARCHITECTURAL PLANS)
 13. RECYCLE/TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
 14. EXISTING LIGHT POLE TO REMAIN
 15. 24" WIDE STOP BARS, TYP. (SEE DETAILS)
 16. STOP SIGN, TYP. (AUTOD R-1-1, SEE DETAILS)
 17. CONCRETE KNEE WALL WITH RAILING
 18. ACCESSIBLE CURB RAMP (SEE DETAILS)
 19. COMBINATION TURN LEFT TURN AND THROUGH TRAFFIC ARROW
 20. RIGHT TURN LANE USE TRAFFIC ARROW
 21. 4" WIDE DOUBLE YELLOW STRIPE (1" C-C)
 22. 4" WIDE PAINTED DASHED WHITE LINE
 23. DIRECTIONAL POB-UP SIGNAGE (SEE ARCHITECTURAL PLANS)
 24. 3 FT WIDE CURB CUT

SHEET INDEX

SHEET NO.:	DESCRIPTION
C1.0	SITE PLAN
C2.0	EXISTING CONDITIONS & DEMOLITION PLAN
C3.0	GRADING & EROSION CONTROL PLAN
C3.1	GRADING & EROSION CONTROL DETAILS
C4.0	UTILITY PLAN
C5.0	GENERAL NOTES & DETAILS
L1.0	LANDSCAPE PLAN

SITE DATA SUMMARY

ZONING:	COMMUNITY SHOPPING (B-2)
PN:	28-19-100-012-0000
PROPERTY AREA:	10.68 ACRES (457,224 SF)
LEASE AREA:	510.0 ACRES (21,913,333 SF) OF ALL AREAS OF DISTURBANCE & MAINTENANCE (MNSO)
BUILDING AREA:	70,323 SF (TOTAL BUILDING AREA)
FRONT SETBACK:	350.0 FT (EXISTING)
FRONT YARD SETBACK:	61.2 FT (EXISTING)
PROPOSED F.A.R.	0.28
MAX. LOT COVERAGE:	50%
PR. LOT COVERAGE:	26.56% (INCLUDES 1,290.2 SF OF ACCESSORY STRUCTURES)
MAX. BUILDING HEIGHT:	35'-0" FT
EX. BUILDING HEIGHT:	33'-0" FT
EX. PERVIOUS AREA:	1,029.96 SF (23.59% SF)
PR. PERVIOUS AREA:	94.92% (10,311'-0" (449,051 SF) NET DECREASE OF 0.08 AC

PARKING SUMMARY

OVERALL PARKING SUMMARY

NET USABLE PARKING REQUIREMENTS FOR TRUCK TURN STANDARDS OF LEASABLE FLOOR AREA (SEE TABLED BELOW) SHALL BE 15 SPACES

RETAIL STORE BUILDING AREA (HOBBY LOBBY + FLOOR & DECOR): 124,213 SF

REQUIRED PARKING: 628 SPACES

EXISTING PARKING SPACES: 574 SPACES

PROPOSED PARKING SPACES: 556 SPACES

TOTAL ADA SPACES REQUIRED: 12 SPACES

TOTAL ADA SPACES PROVIDED: 15 SPACES

LOBBY & DECOR PARKING SUMMARY

BUILDING AREA: 70,323 SF

REQUIRED PARKING: 469 SPACES

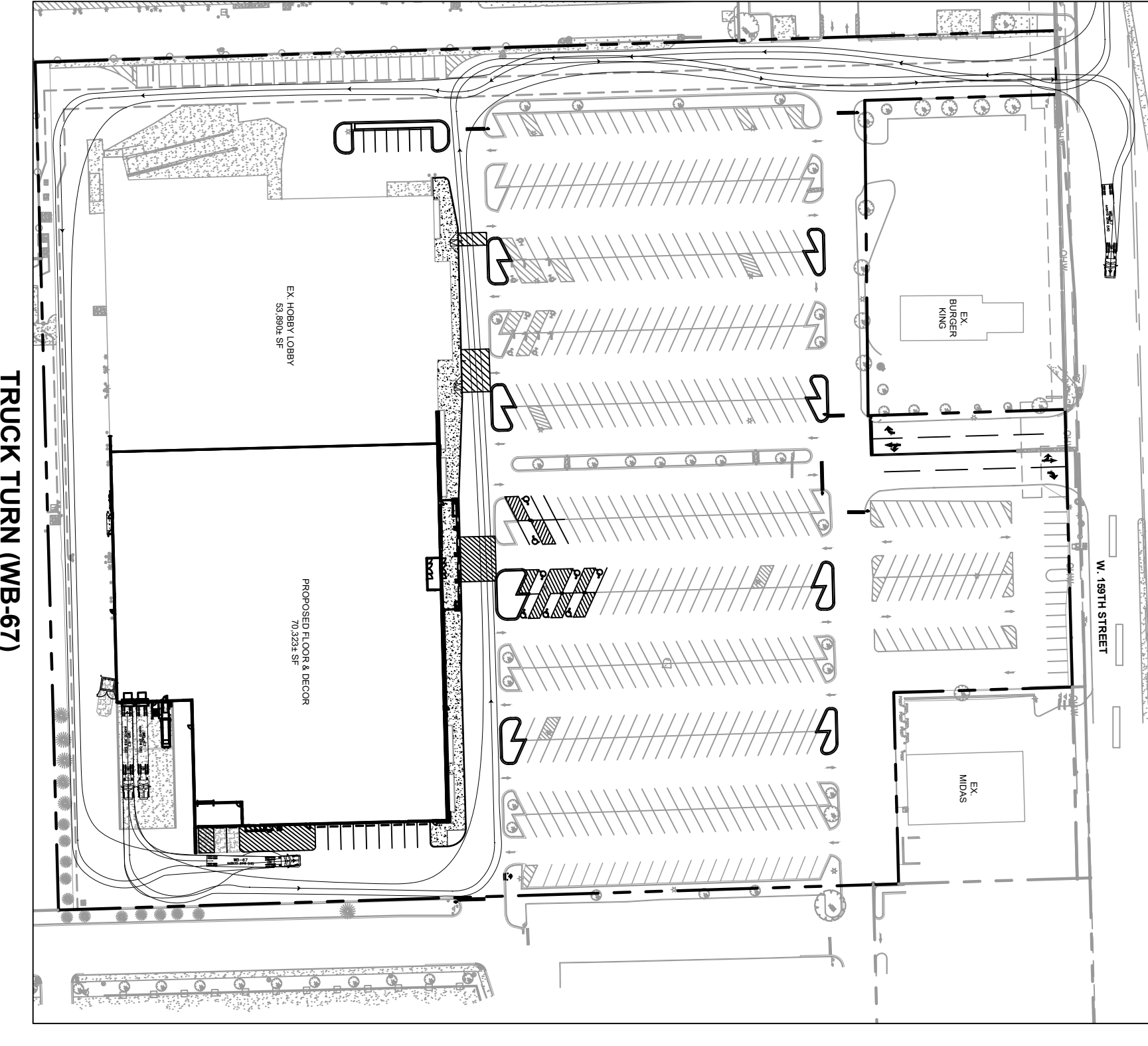
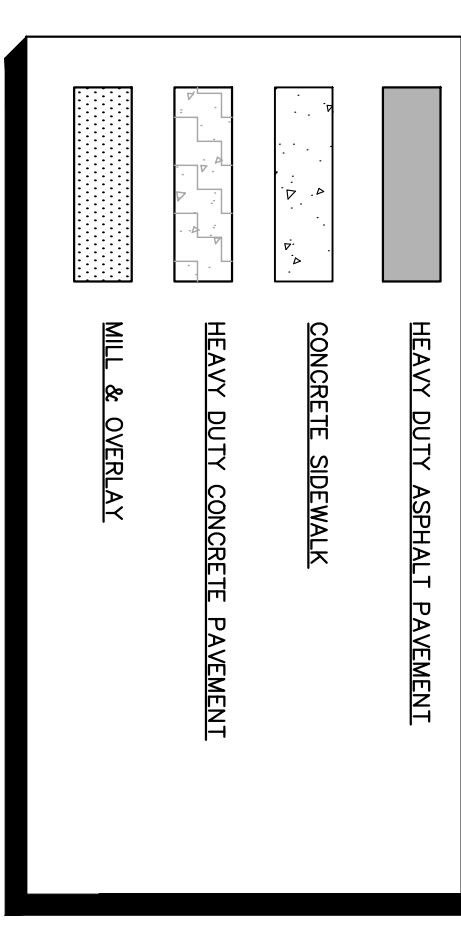
EXISTING PARKING SPACES PROVIDED: 269 SPACES

PROPOSED PARKING SPACES PROVIDED: 264 SPACES

ADA SPACES REQUIRED: 7 SPACES

EXISTING ADA SPACES PROVIDED: 8 SPACES

PROPOSED ADA SPACES PROVIDED: 8 SPACES



FLOOR & DECOR
STORE #18D
TINLEY PARK, IL

Kimley Horn
ARCHITECTURAL DESIGN + GUILD

FLOOR DECOR
2500 WINDY RIDGE PARKWAY, SE
ATLANTA, GA 30339

OWNER:
3710 Sutton Blvd.
St. Louis, MO 63123
www.f-d.com
P: 314.644.1324
F: 314.644.4373

CONSULTANT:
PHONE: (404) 471-1534

PROJECT:
PHONE: (630) 487-5550

ISSUE DATE: XX/XX/XX
ISSUE AREA: 70,323 SF
JOB NUMBER: 2021.0020.00
PROJECT: 2020.03

SCALE: 1" = 10'

DATE: 02.15.2022

DRAWN: JPM / BMW
CHECKED: JPM

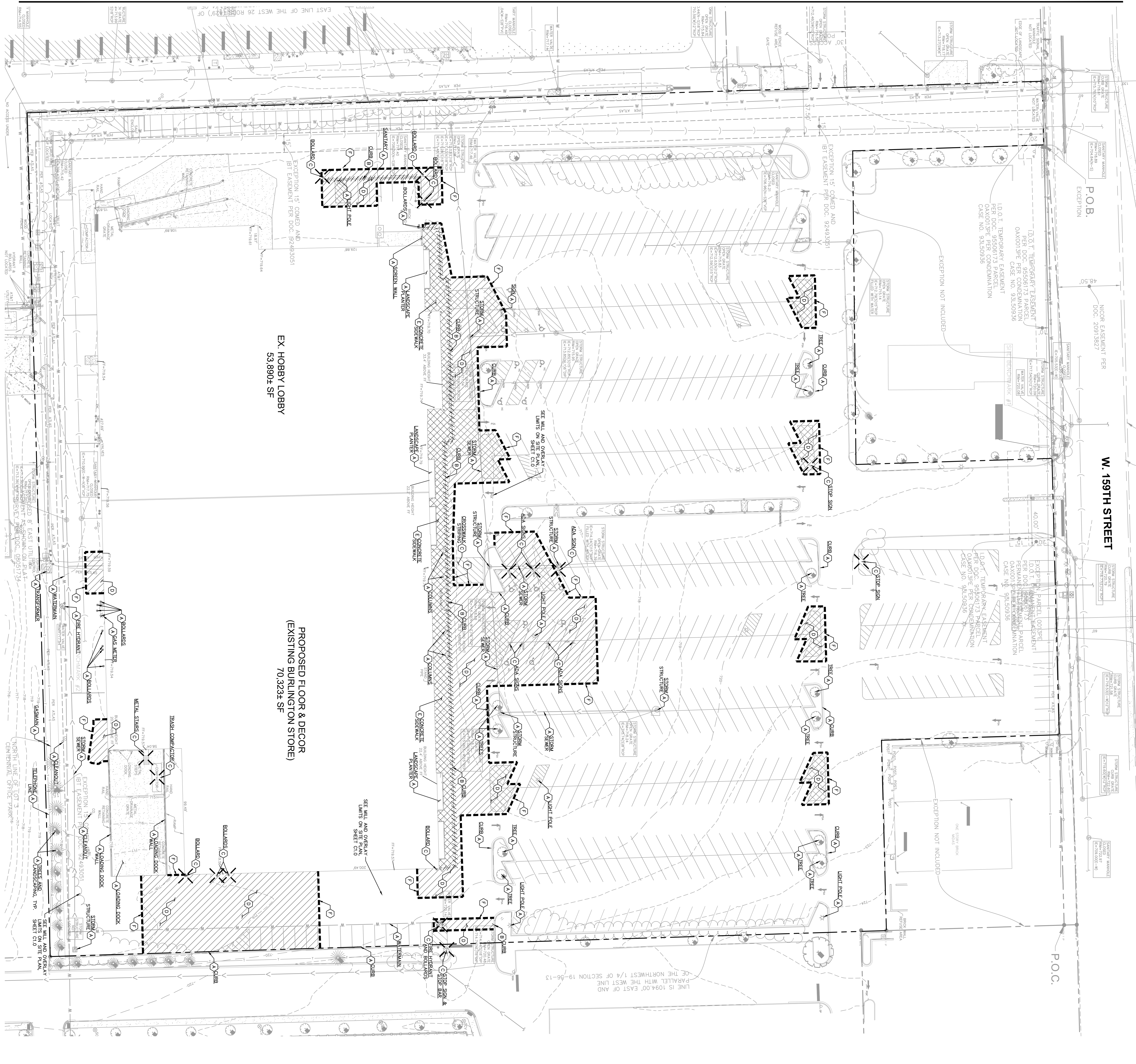
SHEET: SITE PLAN

SCALE: 1" = 10'

ISSUE:

SCALE: 1" = 10'

DATE: 02.15.2022



P.O.B.
EXCEPTION
NIGOR EASEMENT PER
DOC. 20913827

W. 159TH STREET

P.O.C.

I.D.O.T. TEMPORARY EASEMENT
PER DOC. 95506173 PARCEL
0A00039E PER CONDEMNATION
CASE NO. 93359336

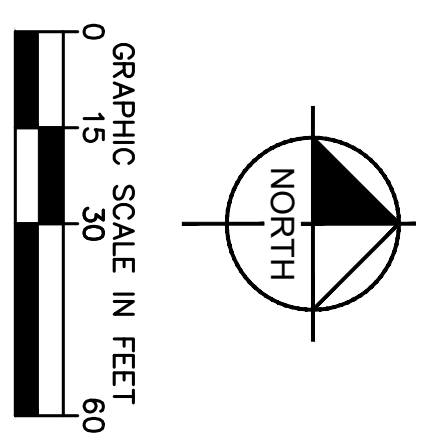
I.D.O.T. TEMPORARY EASEMENT
PER DOC. 93150936
CASE NO. 93150936

I.D.O.T. TEMPORARY EASEMENT
PER DOC. 95506173 PARCEL
0A00039E PER CONDEMNATION
CASE NO. 93359336

I.D.O.T. TEMPORARY EASEMENT
PER DOC. 93150936
CASE NO. 93150936

EX HOBBY LOBBY
53,890± SF

PROPOSED FLOOR & DECOR
(EXISTING BURLINGTON STORE)
70,323± SF



Call Before You Dig
1-800-707-7073

DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OPERATIONS DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT ADJACENT PROPERTIES AND UTILITIES. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
4. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS' BOUNDARIES/PROPERTY LINE UNLESS SPECIFICALLY INDICATED ON THIS SHEET.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE BE HELD UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE UTILITIES TO BE REMOVED PRIOR TO THE DEMOLITION OF ANY STRUCTURE TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
6. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADVANCED PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY TRAFFIC CONTROL AND/OR CONES TO MAINTAIN TRAFFIC FLOW AND BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
7. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES, AS A QUOTE ONLY.
8. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SIGNIFICANT INFORMATION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.

DEMOLITION LEGEND

(A)	ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
(B)	CURB REMOVAL
(C)	ITEM TO BE REMOVED
(D)	FULL-DEPTH ASPHALT PAVEMENT REMOVAL
(E)	CONCRETE REMOVAL
(F)	SANDWIT LINE

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

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3710 Sutton Blvd.
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www.adg.com
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F: 314.644.4573

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ATLANTA, GA 30339
PHONE: (404) 472-1534

Kimley Horn
4301 WAREHOUS ROAD
WARRAVILLE, IL 60555
PHONE: (630) 487-5550

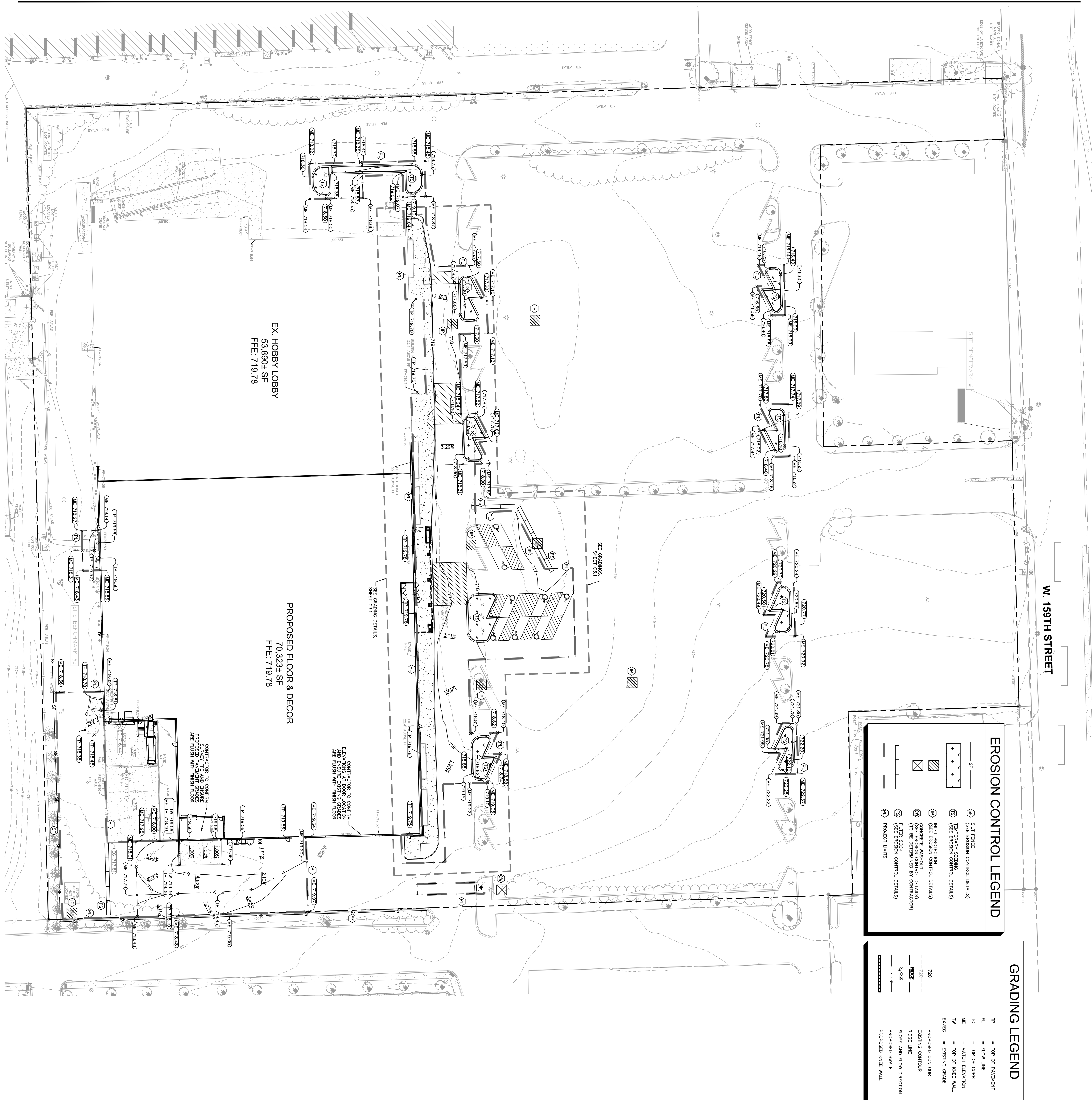
FLOOR & DECOR
STORE #18D
TINLEY PARK, IL

7061 W. 159TH ST
TINLEY PARK, ILLINOIS 60477

ISSUE DATE: XX/XX/XX
SHEET NUMBER: 70323 SF
JOB NUMBER: 2021.00202.00
PROJECT: 2020.03

DRAWN: JPM / BMH
CHECKED: JPM

C2.0



EX HOBBY LOBBY
53,890± SF
FFE: 719.78

PROPOSED FLOOR & DECOR
70,323± SF
FFE: 719.78

W. 159TH STREET

EROSION CONTROL LEGEND

	SILT FENCE
	SEE EROSION CONTROL DETAILS
	TEMPORARY SEEDING
	SEE EROSION CONTROL DETAILS
	SILT PROTECTION
	SEE EROSION CONTROL DETAILS
	CONCRETE WASHOUT
	SEE EROSION CONTROL DETAILS
	FILTER SOCK
	SEE EROSION CONTROL DETAILS
	PROJECT LIMITS

GRADING LEGEND

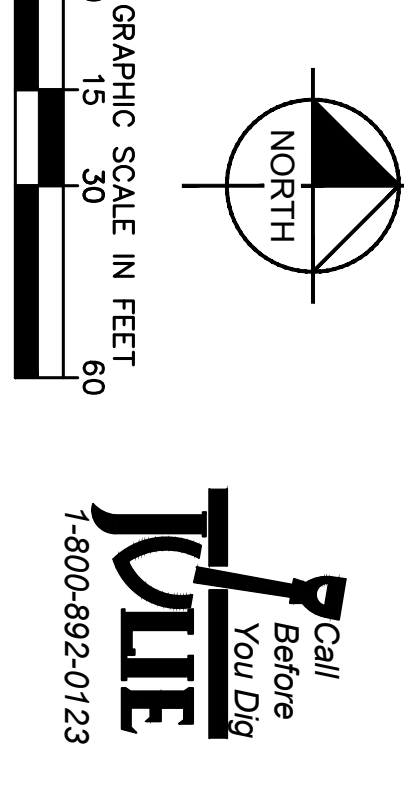
	TP - TOP OF PAVEMENT
	FL - FLOW LINE
	TC - TOP OF CURVE
	ME - MATCH ELEVATION
	TW - TOP OF KNEE WALL
	EX/GD - EXISTING GRADE
	PROPOSED CONTOUR
	SLOPE AND FLOW DIRECTION
	SEE EROSION CONTROL DETAILS
	PROPOSED SLOPE
	PROPOSED KNEE WALL

- ### EROSION CONTROL NOTES
- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. THE LOCATION OF THE PAVED DRIVEWAY SHALL BE DETERMINED BY THE ENGINEER.
 - POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE. FERTILIZER SHALL BE INSTALLED AND MAINTAINED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONSTRUCTION SHALL ALSO REFERENCE CIVIL ENGINEERING DRAWINGS FOR STABILIZATION PRACTICES AND BMP'S.
 - BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE AND PREVENT EROSION AND TO PREVENT SEDIMENT FROM THE SITE RUN-OFF. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
 - CONTRACTOR SHALL PLACE EROSION CONTROL BARRIERS (NORTH AMERICAN GREEN STAPLER OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 3% TO PREVENT EROSION AND SEDIMENTATION. BARRIERS SHALL BE INSTALLED PRIOR TO PAUL ACCEPTANCE. PAUL, ROADS AND WATERWAY CROSSINGS SHALL BE PROTECTED FROM THE WATERWAY AND THE BARRIERS SHALL BE REMOVED AS SOON AS PRACTICABLE.
 - CONTRACTOR SHALL PLACE EROSION CONTROL BARRIERS (NORTH AMERICAN GREEN STAPLER OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 3% TO PREVENT EROSION AND SEDIMENTATION. BARRIERS SHALL BE INSTALLED PRIOR TO PAUL ACCEPTANCE. PAUL, ROADS AND WATERWAY CROSSINGS SHALL BE PROTECTED FROM THE WATERWAY AND THE BARRIERS SHALL BE REMOVED AS SOON AS PRACTICABLE.
 - CONTRACTOR SHALL PLACE EROSION CONTROL BARRIERS (NORTH AMERICAN GREEN STAPLER OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 3% TO PREVENT EROSION AND SEDIMENTATION. BARRIERS SHALL BE INSTALLED PRIOR TO PAUL ACCEPTANCE. PAUL, ROADS AND WATERWAY CROSSINGS SHALL BE PROTECTED FROM THE WATERWAY AND THE BARRIERS SHALL BE REMOVED AS SOON AS PRACTICABLE.
 - CONTRACTOR SHALL PLACE EROSION CONTROL BARRIERS (NORTH AMERICAN GREEN STAPLER OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 3% TO PREVENT EROSION AND SEDIMENTATION. BARRIERS SHALL BE INSTALLED PRIOR TO PAUL ACCEPTANCE. PAUL, ROADS AND WATERWAY CROSSINGS SHALL BE PROTECTED FROM THE WATERWAY AND THE BARRIERS SHALL BE REMOVED AS SOON AS PRACTICABLE.
 - CONTRACTOR SHALL PLACE EROSION CONTROL BARRIERS (NORTH AMERICAN GREEN STAPLER OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 3% TO PREVENT EROSION AND SEDIMENTATION. BARRIERS SHALL BE INSTALLED PRIOR TO PAUL ACCEPTANCE. PAUL, ROADS AND WATERWAY CROSSINGS SHALL BE PROTECTED FROM THE WATERWAY AND THE BARRIERS SHALL BE REMOVED AS SOON AS PRACTICABLE.

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TEMPORARY AND PERMANENT MEASURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAVED DRIVEWAY LOCATIONS AND ELEVATIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPIC FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND MECHANICAL CONTRACTORS TO ESTABLISH SUBGRADE ELEVATIONS AND ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - WHEN NATURAL FLOW OF RUNOFF IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GRATER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

EROSION CONTROL SCHEDULE AND SEQUENCING:

NO.	DESCRIPTION	DATE
1.	ROUGH GRADING	
2.	CONSTRUCTION ENTRANCE/EXIT, SILT FENCE, PROTECTION CONCRETE WASHOUT AREAS AND TREE PROTECTION	
3.	INSTALLATION OF ROUGH GRADING, AS NEEDED	
4.	INSTALLATION OF FINISHED GRADING AND EROSION CONTROL MEASURES AS NEEDED	
5.	INSTALLATION OF PERMANENT PAVING CONSTRUCTION	
6.	FINAL GRADING/PAVING	
7.	LANDSCAPING	



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1-800-892-0123

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F: 314.644.4373

FLOOR DECOR
2500 WINDY RIDGE PARKWAY, SE
ATLANTA, GA 30339
PHONE: (404) 472-1534

Kimley Horn
4301 WINDY RIDGE ROAD
WARRENVILLE, IL 60555
PHONE: (630) 487-5550

FLOOR & DECOR
STORE #182D
TINLEY PARK, IL

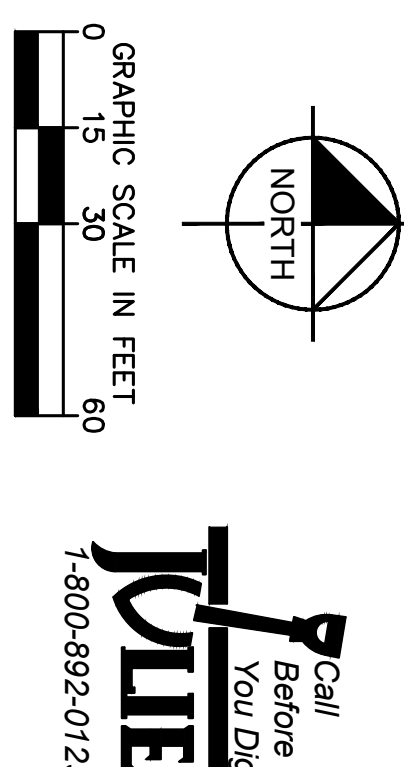
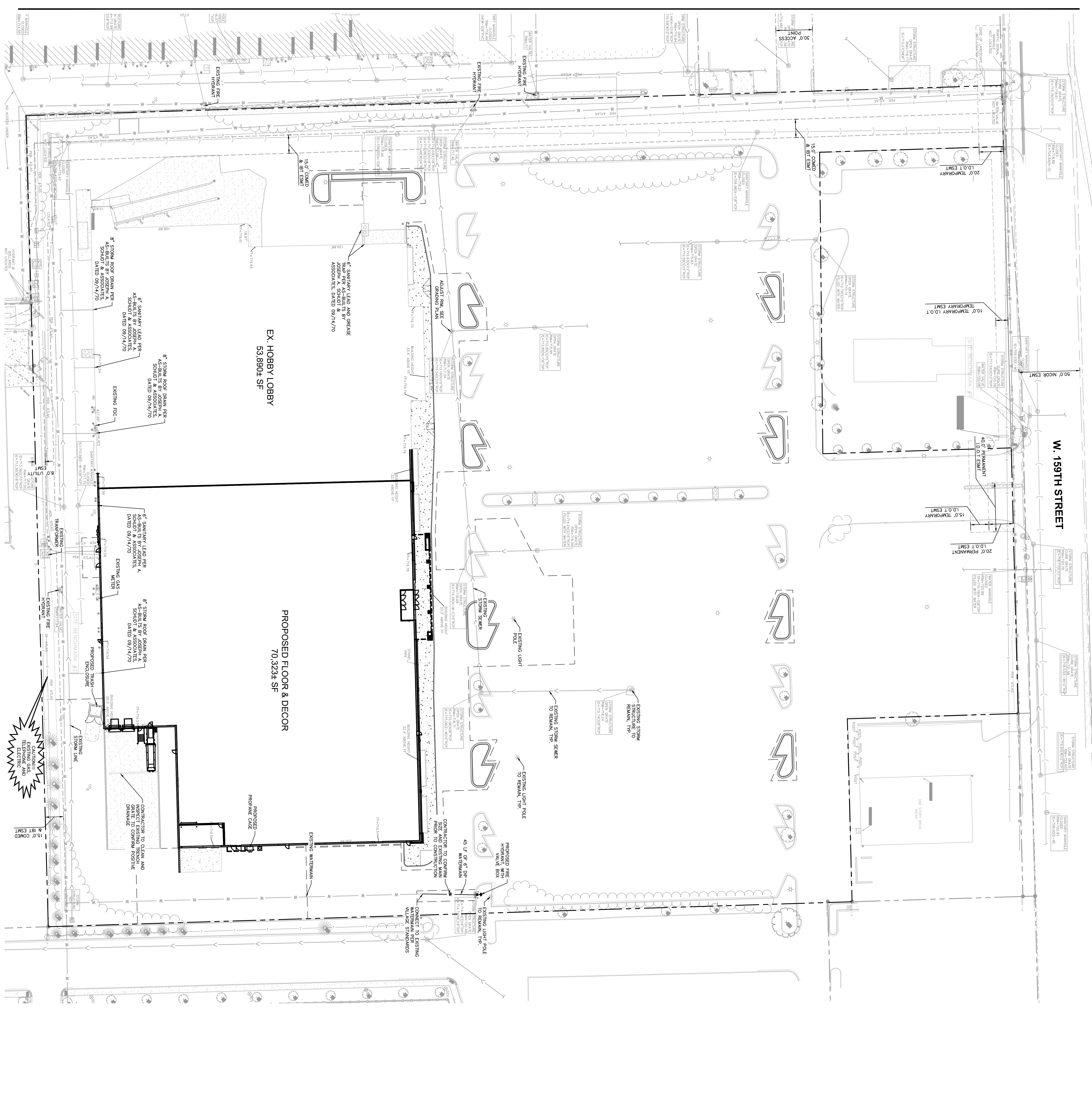
7061 W. 159TH ST.
TINLEY PARK, ILLINOIS 60477

ISSUE DATE: XX/XX/XX
SHEET NUMBER: 70323 SF
JOB NUMBER: 2021.00302.00
PROJECT NAME: 2021.03

ISSUE: 04.29.2022

DRAWN: JPM/BHM
CHECKED: JPM

C3.0

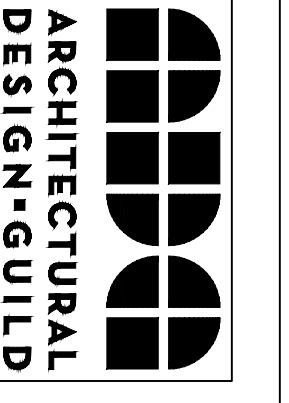
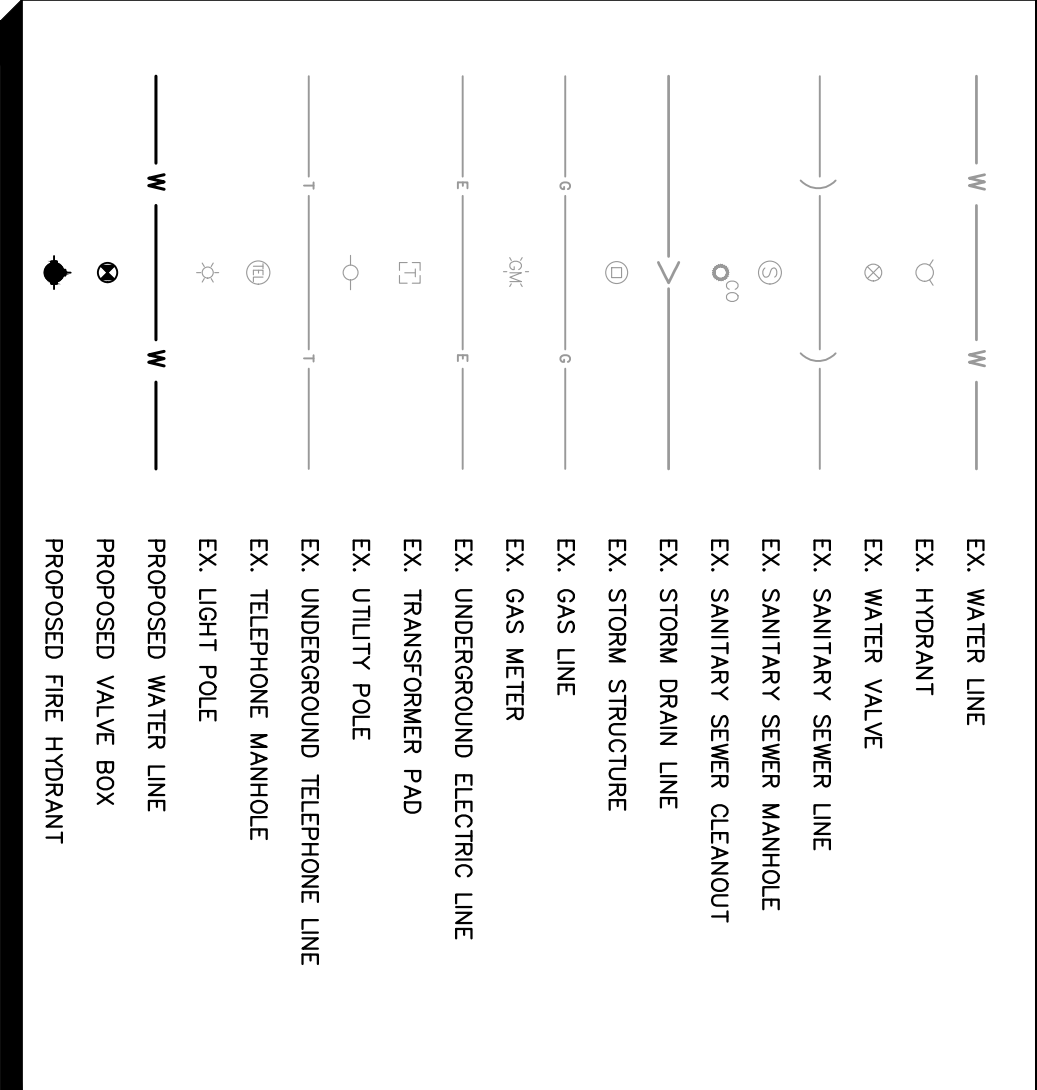


Call Before You Dig
TOLLE
1-800-892-0123

UTILITY NOTES

1. ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
2. CONTRACTOR SHALL CORRELATE ANY DISCREPANCIES TO EXISTING UTILITY LOCATIONS AND PROVIDE WRITTEN CORRECTIONS TO THE ENGINEER.
3. CONSTRUCTION SHALL NOT START ON ANY RIGID UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE ENGINEERING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEERING AUTHORITY.
4. CONTRACTOR TO CALL "811" (1-800-882-0123) TO CORRELATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS AND BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
5. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL ACCESS AND EGRESS FROM ALL SUPPORT SYSTEMS, SIGNING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES. CONTRACTOR SHALL COMPLY WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
6. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
7. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
8. SCALING, CUTTING, AND MAP PLANS FOR EXACT UTILITY CONNECTIONS SHALL BE PROVIDED BY THE ENGINEER.
9. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
10. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.

UTILITY LEGEND



3710 Sutton Blvd.
St. Louis, MO 63143
www.dagsguild.com
P: 314.644.1334
F: 314.644.4573

FLOOR & DECOR
2500 WINDGE PARKWAY, SE
ATLANTA, GA 30339

CONSULTANT
Kimley Horn
4301 WARRIEN ROAD
WARRIENVILLE, IL 60555



7061 W. 159TH ST
TINLEY PARK, ILLINOIS 60477

ISSUE DATE: XX/XX/XX
SHEET NUMBER: 70323 SF
JOB NUMBER: 2021.08202.00
PROJECT: 2020.03

SEAL: [Professional Engineer Seal for Joseph P. Schmitt, No. 062-08202]

DRAWN: JPM / BHM
CHECKED: JPM

C4.0

UTILITY PLAN

EXHIBIT D**Project & Redevelopment Budgets**

Project Budget	
Brokerage Commissions	\$585,000
Asbestos Removal	\$300,000
Parking Lot Repair Phase 1 (includes landscaping)	\$150,000
Parking Lot Repair Phase 2	\$300,000
New Roof Installation	\$485,000
Legal, Engineering, Architectural, ect	\$75,000
Developer's Fee	\$375,000
Total	\$2,270,000
Redevelopment Budget	
New Roof Installation*	\$485,000
Parking Lot Repair Phase 1 (includes landscaping)	150,000
Parking Lot Resurfacing (Phase II)	\$300,000
Asbestos Removal	\$300,000
Total Redevelopment Costs	\$1,235,000

*Only 80% of roof cost will be covered by Village. In the event Hobby Lobby does not execute a lease by August 30, 2021, the Village shall reduce the portion of reimbursement to 50% of the roof installation costs.

STATE OF Colorado)
) SS:
 COUNTY OF Denver)

OWNERSHIP DISCLOSURE AFFIDAVIT

Alan Silverman being duly deposed on oath states as follows:

1. Fee simple title to the real estate located at 7061 West 179th Street, Tinley Park, Cook County, Illinois, Property Index No. 28-19-100-012-0000 ("Redevelopment Property") is vested in The Chicago Trust Company as Successor Trustee to Beverly Bank under a Trust Agreement dated January 14, 1970 and known as Trust Number 8-2120 ("Land Trust").

2. J-M-W Properties, LLC, an Illinois limited liability company, is the sole beneficiary and holds the full power of direction to the Land Trust ("Developer").

3. That I understand that pursuant to Illinois law, prior to execution of the redevelopment agreement between Developer and the Village of Tinley Park, Illinois law requires the owner, authorized trustee, corporate official, or managing member or agent to submit a sworn affidavit to the Village of Tinley Park disclosing the identity of every owner and beneficiary who will obtain any interest, real or personal, in the Property and/or project, and every shareholder who will be entitled to receive more than 7.5% of the total distributable income of any corporation having any interest, real or personal, in the Redevelopment Property and/or project after this transaction is consummated.

4. The members of the Developer are:

Essaness Theatres Corporation
 Jill K. Jacobs
 LaVerne Maras and A. Thomas Maras Trust
 Steve Jacobs
 Harold M. Alterson
 Heather Alterson
 Gary Alterson

5. The shareholders of Essaness Theatres Corporation are:

Jack E. Silverman Family Trust
 Jack E. Silverman Marital Trust
 Alan and Joanna Silverman Revocable Trust
 Michael Edwin Silverman GST
 Samantha Lynn Silverman Children Trust

6. Essaness is a managing member of Developer and I am its president. This instrument is made to induce the Village of Tinley Park to enter into a redevelopment agreement

EXHIBIT F

Form of Certificate of Expenditure

Date: _____, 2021

To: Village of Tinley Park, (the "Village")

Re: J-M-W PROPERTIES, LLC ("Developer") \$_____ Incremental Tax Reimbursement

This Certificate of Expenditure is provided pursuant to the Village of Tinley Park Tax Increment Financing Redevelopment Agreement (Phase I) by and between Developer and the Village, dated _____, 2021, as authorized pursuant to Resolution No. 2020-R-____ (the "Redevelopment Agreement"). All terms used herein shall have the same meaning as when used in the Redevelopment Agreement.

Developer hereby certifies that, as of the date hereof, \$_____ has been advanced by Developer in connection with the Project. Such amount has been properly incurred, is a proper charge made or to be made in connection with the Project costs, including Redevelopment Project Costs. Total Project costs are \$_____ and Redevelopment Project Costs are \$_____. Documents substantiating these expenditures and their payment are attached hereto.

IN WITNESS WHEREOF, Developer has caused this certification to be signed on its behalf as of the date shown above.

J-M-W Properties, LLC

By: _____
Name: _____
Title: _____

097205.000009 4821-8878-9953.5

EXHIBIT G
PHASE II WORK

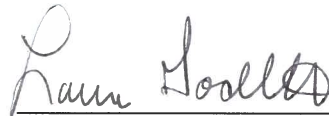
(RESURFACING OF ENTIRE PARKING LOT)

STATE OF ILLINOIS)
 COUNTY OF COOK) SS
 COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-034, "A RESOLUTION AUTHORIZING THE EXECUTION OF A TAX INCREMENT FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC FOR PROPERTY AT 7061-7063 159TH STREET" which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 1st day of June, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.



DEPUTY VILLAGE CLERK



Interoffice

Memo

Date: January 25, 2022

To: Kimberly Clarke – Community Development Director
 Dan Ritter – Senior Planner
 John Urbanski, Public Works Director

From: Colby Zemaitis, PE, CFM – Asst. Public Works Director

Subject: 5 Year Water Meter and Tap-on Fee Rate Increases

Presented for Committee of the Whole and Village Board Meeting consideration and possible action.

Description: Tap-on fees cover the cost of installing a new water service for a residential home or a commercial/industrial business connecting to the Village’s water system. The service line extends from the shut off valve (b-box) to the inside of the house/building where a Village water meter is installed and calculates the amount of water used.

The water meter costs are based on the actual purchase cost of the meter and its components from the supplier. The overall tap-on fee charge includes the tap-on fee in addition to the water meter cost. Existing residential customers upgrading from ¾” water services to 1” services shall pay a \$1,500.00 fee plus the cost of a new 1” water meter.

A study of the rates our neighboring communities charge and an ordinance amending various sections of the Village Codes and Ordinances pertaining to the Comprehensive Fee Schedule was conducted (Ordinance No. 2019-O-081) and approved by the Village Board on December 17, 2019. The Village proposes a 5-Year Plan with a 2.5% annual cost increase for tap-on fees and water meter costs based on fees/costs provided below for services from 2022 to 2026. The water service tap-on fee schedule for 2022 is as stated below and annual cost increases shall occur on January 1st of each year.

Non Residential:	Size of Service	Tap-on Fee 2022	Tap-on Fee 2023	Tap-on Fee 2024	Tap-on Fee 2025	Tap-on Fee 2026	Water Meter Cost
	1"	\$8,000.00	\$8,200.00	\$8,400.00	\$8,600.00	\$8,815.00	\$193.00
	1.5"	\$13,225.00	\$13,550.00	\$14,000.00	\$14,350.00	\$14,700.00	\$1,324.00
	2"	\$21,000.00	\$21,525.00	\$22,050.00	\$22,600.00	\$23,165.00	\$1,479.00
	3"	\$50,500.00	\$51,765.00	\$53,050.00	\$54,375.00	\$55,735.00	\$1,878.00
	4"	\$75,000.00	\$76,875.00	\$78,800.00	\$80,775.00	\$82,800.00	\$3,262.00
	6"	\$101,375.00	\$103,900.00	\$106,500.00	\$109,165.00	\$111,900.00	\$5,632.00
	8"	\$130,000.00	\$133,250.00	\$136,575.00	\$140,000.00	\$143,500.00	TBD
Residential:	1"	\$6,000.00					\$193.00

It is recommendation of staff that the Village Board approve these rate increases so as to remain within the average rate of our neighboring communities and matching the current purchasing rates for water meters.

Staff Direction Request:

1. Approve tap-on fee rate increase for 2022-2026.
2. Direct Staff as necessary.

Attachment:

1. 2022 Quotation for Sensus Water Meters.



THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
2022-O-017

**AN ORDINANCE AMENDING TABLE XI IN THE TABLE OF ORDINANCES
PERTAINING TO WATER METER AND TAP-ON FEE SCHEDULE**

MICHAEL W. GLOTZ, PRESIDENT
NANCY M. O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County,
Illinois Will
County, Illinois

ORDINANCE NO. 2022-O-017

**AN ORDINANCE AMENDING TABLE XI IN THE TABLE OF ORDINANCES
PERTAINING TO WATER METER AND TAP-ON FEE SCHEDULE**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park (“Village”) has reviewed the water meter and tap-on fees and the related costs of providing such services to residents, and determined that adopting a five-year fee increase is warranted; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to amend the Table of Special Ordinances, Table XI, “Comprehensive Fee Schedule” to increase water meter and tap-on fee rates through 2026;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as finding of fact as if said recitals were fully set forth herein.

SECTION 2: That the Table of Special Ordinances, Table XI “COMPREHENSIVE FEE SCHEDULE,” is hereby amended by adding the underlined language and deleting the stricken language, as follows:

I-XI-VI: PUBLIC WORKS		
CODE SECTION	FEE TYPE	FEE AMOUNT
Title V § <u>50.051</u> Title V § <u>50.054</u> Title V § <u>51.018</u> & Comprehensive Building Code (2016-O-055)	Water and sewer connection (tap- on)	Residential – \$6,000 1” commercial – \$7,250 1.5” commercial – \$12,000 2” commercial – \$19,000 3” commercial – \$46,000 4” commercial – \$68,000

Chapter XIII, Section 1300		<p>4"++ to be negotiated with village based on associated costs of the proposed development</p> <table border="1"> <thead> <tr> <th>Non Residential:</th> <th>Size of Service</th> <th>Tap-on Fee 2022</th> <th>Tap-on Fee 2023</th> <th>Tap-on Fee 2024</th> <th>Tap-on Fee 2025</th> <th>Tap-on Fee 2026</th> </tr> </thead> <tbody> <tr> <td></td> <td>1"</td> <td>\$8,000.00</td> <td>\$8,200.00</td> <td>\$8,400.00</td> <td>\$8,600.00</td> <td>\$8,815.00</td> </tr> <tr> <td></td> <td>1.5"</td> <td>\$13,225.00</td> <td>\$13,550.00</td> <td>\$14,000.00</td> <td>\$14,350.00</td> <td>\$14,700.00</td> </tr> <tr> <td></td> <td>2"</td> <td>\$21,000.00</td> <td>\$21,525.00</td> <td>\$22,050.00</td> <td>\$22,600.00</td> <td>\$23,165.00</td> </tr> <tr> <td></td> <td>3"</td> <td>\$50,500.00</td> <td>\$51,765.00</td> <td>\$53,050.00</td> <td>\$54,375.00</td> <td>\$55,735.00</td> </tr> <tr> <td></td> <td>4"</td> <td>\$75,000.00</td> <td>\$76,875.00</td> <td>\$78,800.00</td> <td>\$80,775.00</td> <td>\$82,800.00</td> </tr> <tr> <td></td> <td>6"</td> <td>\$101,375.00</td> <td>\$103,900.00</td> <td>\$106,500.00</td> <td>\$109,165.00</td> <td>\$111,900.00</td> </tr> <tr> <td></td> <td>8"</td> <td>\$130,000.00</td> <td>\$133,250.00</td> <td>\$136,575.00</td> <td>\$140,000.00</td> <td>\$143,500.00</td> </tr> <tr> <td>Residential:</td> <td>1"</td> <td colspan="5">\$6,000.00</td> </tr> </tbody> </table>	Non Residential:	Size of Service	Tap-on Fee 2022	Tap-on Fee 2023	Tap-on Fee 2024	Tap-on Fee 2025	Tap-on Fee 2026		1"	\$8,000.00	\$8,200.00	\$8,400.00	\$8,600.00	\$8,815.00		1.5"	\$13,225.00	\$13,550.00	\$14,000.00	\$14,350.00	\$14,700.00		2"	\$21,000.00	\$21,525.00	\$22,050.00	\$22,600.00	\$23,165.00		3"	\$50,500.00	\$51,765.00	\$53,050.00	\$54,375.00	\$55,735.00		4"	\$75,000.00	\$76,875.00	\$78,800.00	\$80,775.00	\$82,800.00		6"	\$101,375.00	\$103,900.00	\$106,500.00	\$109,165.00	\$111,900.00		8"	\$130,000.00	\$133,250.00	\$136,575.00	\$140,000.00	\$143,500.00	Residential:	1"	\$6,000.00				
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Title V § 50.056	Purchasing or replacing water meters	Full cost of the new meter <u>\$193.00</u>																																																															
Title V § 50.057 (2019-O-032)	Damaged water meters	Damaged cost of the meter <u>\$193.00</u>																																																															

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 5: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 15th day of February, 2021.

AYES:

NAYS:

ABSENT:

APPROVED THIS 15th day of February, 2021.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, NANCY O' CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-017, "AN ORDINANCE AMENDING TABLE XI IN THE TABLE OF ORDINANCES PERTAINING TO WATER METER AND TAP-ON FEE SCHEDULE," which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 15th day of February, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 15th day of February, 2022.

VILLAGE CLERK



Interoffice

Memo

Date: February 8, 2022

To: John Urbanski, Public Works Director

From: Joe Fitzpatrick, Water & Sewer Superintendent

Subject: Westside Pressure Improvements Design & Construction Engineering

Presented for Committee of the Whole and Village Board consideration and action.

Description: The Village is seeking design and construction engineering services for the Westside Water Pressure Improvements Project, which includes constructing a water booster station and three pressure sustaining valves (PSVs). Scope of services include, but not limited to, design layout, preparing bid documents, reviewing submittals, aiding with contract administration, and full-time construction observation services.

Background: Public Works has determined, using the water system model, SCADA data, and institutional knowledge, the west side of the Village has lower water pressure than other parts of town. The main cause for the decrease in water pressure is the much higher elevation in the area. The proposed booster station will be constructed on the south side 179th Street west of 88th Avenue with the PSVs located between 171st Street and 183rd Street. These locations have been selected to have minimal impact on traffic patterns, while keeping them accessible for routine checks, preventative maintenance, or repairs. This project will increase the water pressure to the effected area up to 20 PSI. The increased pressure will be in line with the pressure residents and businesses toward the east are currently receiving.

<u>Engineering Firm:</u>	<u>Location:</u>	<u>Proposal:</u>
Christopher B. Burke Engineering, LTD	Rosemont, IL	\$291,000

Budget/ Finance: Funding in the amount of \$291,000 is available for use through the recently procured bond and was previously discussed with the Finance Department.

Staff Direction Request: Approve a professional services contract with Christopher B. Burke Engineering, LTD. in the amount of \$291,000.

Attachments:

1. Proposal and Scope of Services for Westside Pressure Improvements Design and Construction Engineering.



Interoffice

Memo

Date: February 8, 2022

To: John Urbanski, Public Works Director

From: Joe Fitzpatrick, Water & Sewer Superintendent

Subject: LaGrange Rd. Water Main Install Design & Construction Engineering

Presented for Committee of the Whole and Village Board consideration and action

Description: The Village is seeking design and construction engineering services for water main installation along LaGrange Road. Scope of services include, but not limited to, design layout, preparing bid documents, reviewing submittals, aiding with contract administration, and full-time construction observation services.

Background: Public Works has determined, using the water system model and institutional knowledge, water main is needed between 17231 and 17333 LaGrange Rd. and from 175th Street to 17801 LaGrange Rd. This new 12" water main will close the existing gaps where water main is non-existent. Filling these gaps will increase the flow and pressure to the residents and businesses in the surrounding areas. In total, there will be approximately 2,700 linear feet of water main installed.

<u>Engineering Firm:</u>	<u>Location:</u>	<u>Proposal:</u>
Christopher B. Burke Engineering, LTD.	Rosemont, IL	\$168,358

Budget/ Finance: Funding in the amount of \$168,358 is available for use through the recently procured bond and was previously discussed with the Finance Department.

Staff Direction Request: Approve a professional services contract with Christopher B. Burke Engineering, LTD. in the amount of \$168,358.

Attachments:

1. Proposal and Scope of Services for LaGrange Road Water Main Design and Construction Engineering.



Interoffice Memo

Date: February 4, 2022
To: Pat Carr – Village Manager
From: John Urbanski – Public Works Director
Subject: Bulk Fuel Purchase

Presented February 15, 2022 at the Committee of the Whole/Village Board Meeting consideration and possible action:

Description: The Village is about to end their one (1) year agreement with AI Warren Oil Company, Inc. to participate in a fixed cost bulk fuel program for both gasoline and diesel fuel. As was discussed previously, there are several benefits to this type of program. These benefits include, but are not limited to:

- One Vendor – Previous to the bulk fuel contract, the Village purchased bulk fuel from several different vendors based on the market prices at the time fuel is needed. Having one vendor provide fuel to the Village helped to reduce/safeguard any potential issues from multiple vendors delivering fuel to the Village (bad load of fuel, damage to equipment, etc.).
- Known Fuel Costs – Under the bulk fuel contract, the Village had fuel cost for the vast majority (if not all) of the fuel needed in any given year. This information helps the Village more accurately budget for fuel costs during any given fiscal year.
- Emergency Fuel Needs – Having one fuel vendor may assist the Village in acquiring fuel during emergency situations.

Staff Assessment of AI Warren Oil Company, Inc.: The Public Works Department has utilized the recommended vendor for almost ten (10) years and has had very positive experiences with the customer service, equipment service and fuel deliveries being provided by AI Warren Oil Company, Inc. within their scheduled time frame.

Contract Details: The previous contract locked in a flat rate per gallon for both unleaded and diesel fuels at an established baseline quantity of historical usage at approximately 80% each month. This baseline was typically met, and once exceeded, the cost per gallon is charged to meet OPIS regional rates (which still fall below “street values”).

Public Works will continue to recommend to include the Park District in the contract. It showed last year to be mutually advantageous to combine both agencies onto one contract. AI Warren Oil Company, Inc. will still invoice delivered quantities to each separate entity but, this combined contract will allow for our benchmark quantity to be raised, minimizing the charged overages at the OPIS rates. It will greatly reduce TPPD’s previous rates of almost .60 per gallon of unleaded. Ultimately, be beneficial to both agencies in some aspect of the contract.

Due to the method of the futures market vs. board meeting scheduling it is recommended that the Village Board grant the Village Manager the authority to finalize a contract subsequent to the approval. Therefore, Al Warren Oil Company, Inc. offers a range of what the market is currently at:

- Unleaded - \$2.76 - \$2.86 per gallon*
- Diesel - \$2.84 - \$2.94 per gallon*

* Plus applicable taxes

Staff Direction Request:

1. Approve contract with Al Warren Oil Company, Inc. and Village Manager authority to lock in per gallon rates at amounts approximate to those stated.
2. Direct Staff as necessary.

Attachment:

1. Draft Al Warren Oil Company, Inc. Contract.
2. Fixed Price Contract – Gasoline.
3. Fixed Price Contract – Diesel.

STAFF COMMENT

BOARD COMMENT

PUBLIC COMMENT

EXECUTIVE SESSION

ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.**

- B. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.**